

Planning Committee Agenda



Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

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11 December 2018

To the Members of the PLANNING COMMITTEE

Councillors: S. Parnall (Chairman)

| | | |
|-----------------|----------------|-------------------|
| M. S. Blacker | J. M. Ellacott | J. M. Stephenson |
| Mrs. R. Absalom | V. H. Lewanski | C. Stevens |
| L. S. Ascough | S. McKenna | Ms. B. J. Thomson |
| R. Biggs | R. Michalowski | Mrs. R. S. Turner |
| Mrs. J. S. Bray | J. Paul | S. T. Walsh |
| G. P. Crome | M. J. Selby | C. T. H. Whinney |

Substitutes

Councillors:

Conservatives: T. Archer, M. A. Brunt, J. E. Durrant, J. S. Godden,
Dr. L. R. Hack, A. C. J. Horwood, F. Kelly, G. J. Knight,
G. Owen, D. T. Powell, T. Schofield and J. F. White

Residents' Group: R. Harper, N. D. Harrison and B. A. Stead

Green Party: H. Brown and J. C. S. Essex

For a meeting of the **PLANNING COMMITTEE** to be held on **WEDNESDAY, 19 DECEMBER 2018** at **7.30 pm** in the New Council Chamber - Town Hall, Reigate.

John Jory
Chief Executive

1. MINUTES

(Pages 5 - 8)

To confirm as a correct record the Minutes of the previous meeting.

2. APOLOGIES FOR ABSENCE

To receive any apologies for absence.

3. DECLARATIONS OF INTEREST

To receive any declarations of interest.

4. ADDENDUM TO THE AGENDA

(To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 18/01971/F - LILLIPUT NURSERY, WEST AVENUE, SALFORDS (Pages 9 - 44)

Proposed development of a 76 bedroom specialist dementia nursing care home (use class c2) with external areas and ancillary buildings, erection of refuse store, cycle store and garden store, formation of landscaped gardens and car parking area.

6. 18/01576/F - 43-49 HIGH STREET, HORLEY ,SURREY

(Pages 45 - 70)

Erection of a three storey rear extension to provide nine flats.

**7. 18/01752/F - LAND TO THE REAR OF 4 BEAUFORT ROAD, (Pages 71 - 100)
REIGATE, SURREY, RH2 9DJ**

Change of use of the land, demolition of existing garage and ancillary building, and erection of 3 no. three bedroom dwellings.
As amended on 25/10/2018.

8. ANY OTHER URGENT BUSINESS

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.

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Agenda Item 1

Planning Committee
28 November 2018

Minutes

BOROUGH OF REIGATE AND BANSTEAD

PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the New Council Chamber - Town Hall, Reigate on 28 November 2018 at 7.30 pm.

Present: Councillors S. Parnall (Chairman), M. S. Blacker (Vice-Chair), Mrs. R. Absalom, R. Biggs, Mrs. J. S. Bray, G. P. Crome, V. H. Lewanski, S. McKenna, R. Michalowski, J. Paul, M. J. Selby, J. M. Stephenson, Ms. B. J. Thomson, Mrs. R. S. Turner, S. T. Walsh and C. T. H. Whinney.

Also present: Councillors .

72. MINUTES

RESOLVED that the minutes of the meeting held on 31st October 2018 be approved as a correct record and signed.

73. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillors L. S. Ascough, J. M. Ellacott and C. Stevens.

74. DECLARATIONS OF INTEREST

There were no declarations of interest.

75. ADDENDUM TO THE AGENDA

RESOLVED that the addendum be noted.

76. 14/02077/DET03 AND DET04 - LAND TO THE EAST OF RECTORY LANE, WOODMANSTERNE

The Committee considered two detailed applications at the Land to the East of Rectory Lane in Woodmansterne for:

- DET03 - Submission of landscaping details (Amended on 20 June 2018) pursuant to Condition 4 of 14/02077/F - construction of the soakaway lagoon, the installation of pipework between new lagoon and the existing works, an access road to the site from Rectory Lane and associated landscaping. As amended on 26/07/2018.

And

- DET04: Submission of boundary treatment details (Amended on 20 June 2018) pursuant to Condition 4 of 14/02077/F - construction of the soakaway lagoon, the installation of pipework between new lagoon and the existing

works, an access road to the site from Rectory Lane and associated landscaping. As amended on 26/07/2018.

The Chairman explained that the applications were referred to the Planning Committee by Councillor Stephenson by exceptional reason given the extent of the public interest in this development and these matters.

Patricia Thorpe, a local resident, spoke in objection to the additional fencing along the south eastern boundary of the site within application 14/02077/DET04 on the grounds that it was excessive; wasn't required for the operation of the lagoon; and, had a negative impact on public access.

Peter Morgan, a local resident who owned land adjacent to the site, referred to 6.3 'Existing vegetation' on page 171 of the officer's report and sought to retain the existing hedgerow adjacent to his property in its existing form on the grounds that there was no need to divide the hedgerow into 9 sections, nor to trim it as shown in the plans. Additionally, Mr. Morgan sought assurances that the associated works would not cause damage to the footpath that ran parallel to the hedgerow.

The Committee discussed the material evidence presented during the meeting and it **RESOLVED** in respect of:

- **14/02077/DET03** – that planning permission be **GRANTED** as per the recommendation as amended by the Addendum; AND
 - Additional informative relating to the retention and management of boundary trees – “4. *The applicant is reminded that, unless otherwise specified on the approved plans, all existing trees both on site and on boundaries shall be retained and, in accordance with Condition No.3 to 14/02077/F, shall be replaced within 1 year should they be removed, die or become significantly damaged or diseased within 5 years of the completion of the works. Any pruning of existing trees shall be limited only to those works necessary in the interests of proper arboricultural management and in strict accordance with any relevant arboricultural guidance and standards. Due to the public interest in the site, the applicant/landowner is strongly advised to contact the Council's Tree Officer prior to carrying out any works to existing trees should the need arise.*”
- **14/02077/DET04** – that planning permission be **GRANTED** as per the recommendation as amended by the Addendum; AND
 - Additional informative relating to the retention and management of boundary trees – “4. *The applicant is reminded that, unless otherwise specified on the approved plans, all existing trees both on site and on boundaries shall be retained and, in accordance with Condition No.3 to 14/02077/F, shall be replaced within 1 year should they be removed, die or become significantly damaged or diseased within 5 years of the completion of the works. Any pruning of existing trees shall be limited only to those works necessary in the interests of proper arboricultural management and in strict accordance with any relevant arboricultural guidance and standards. Due to the public interest in the site, the applicant/landowner is strongly advised to contact the Council's Tree Officer prior to carrying out any works to existing trees should the need arise.*”

77. 18/01133/F - BROOK ROAD GARAGE, BROOK ROAD, REDHILL

The Committee considered an application at Brook Road Garage in Redhill for the demolition of the existing buildings and erection of a building comprising of 48 flats.

RESOLVED that planning permission be **GRANTED** as per the recommendation, **Subject to S106**, as amended by the Addendum; AND

- Amend part (i) of the recommendation to state “10 units of affordable housing as shared ownership tenure, all of which shall have private balconies.”

78. 18/00967/OUT - HOCKLEY INDUSTRIAL CENTRE HOOLEY LANE REDHILL SURREY

The Committee considered an outline planning application at the Hockley Industrial Centre on Hooley Lane in Redhill for the partial demolition of the existing buildings and erection of 4 apartment blocks comprising of 23 x 1 bed flats and 37 x 2 bed flats (60 in total).

The Chairman advised the committee that there was a discrepancy in the description of the item on the agenda and clarified that the application was for 60 flats in total, as described within the report.

RESOLVED that planning permission be **GRANTED** as per the recommendation, **Subject to S106**, as amended by the Addendum; AND

- Additional clause in condition No. 4 requiring details of the “(g) timing, number and routing of construction and HGV vehicle movements to and from the site.”
- An additional informative relating to encourage the applicant to salvage narrow gauge tracks which remain on site and incorporate into landscaping – “15. The applicant is encouraged, where possible, to salvage any remnants of narrow gauge rail tracks on the site and incorporate them as part of the landscaping of the new development in order to reflect the railway heritage of the site.”
- Ward member to be consulted on crossing details to be submitted pursuant to condition No.19

Officers to ensure, through the drafting and preparation of the legal agreement, that the proposed affordable units have comparable amenity to private flats, particularly in respect of railway noise.

79. 18/01736/F - THE GROVE MEETING HALL, THE GROVE, HORLEY

The Committee considered an application at The Grove Meeting Hall on The Grove in Horley for the erection of a replacement hall with parking. As amended on 4/10/2018. As amended on 16/10/18.

RESOLVED that planning permission be **GRANTED** as per the recommendation.

80. 18/01617/F - 2 PARKHURST ROAD, HORLEY

The Committee considered an application at 2 Parkhurst Road in Horley for the construction of two new dwellings and one replacement dwelling (resubmission of 17/01330/F). As amended on 15/08/2018. As amended on 17/10/2018.

RESOLVED that planning permission be **GRANTED** as per the recommendation as amended by the Addendum; AND

- Additional informative to encourage wildlife friendly boundary treatments – *“7. With regard to Condition 8 (boundary treatment), the developer is encouraged to incorporate measures to promote biodiversity and wildlife and to allow wildlife to move into and out of gardens, such as hedgehog friendly gravel boards, where appropriate. Details of the 'wildlife friendly' measures should be identified within the submission of the details for approval.”*

81. ANY OTHER URGENT BUSINESS


There was no other urgent business.

The Meeting closed at 9.47 pm

Agenda Item 5

Planning Committee
19th December 2019

Agenda Item: 5
18/01971/F

| | | |
|--|-------------------|--|
|  Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate | TO: | PLANNING COMMITTEE |
| | DATE: | 19 th December 2018 |
| | REPORT OF: | HEAD OF PLACES & PLANNING |
| | AUTHOR: | Billy Clements |
| | TELEPHONE: | 01737 276087 |
| | EMAIL: | billy.clements@reigate-banstead.gov.uk |
| AGENDA ITEM: | 5 | WARD: Earlswood & Whitebushes |

| | | | |
|--|--|---------------|---------------------------------|
| APPLICATION NUMBER: | 18/01971/F | VALID: | 18 th September 2018 |
| APPLICANT: | Encore Care Homes Ltd | AGENT: | N/A |
| LOCATION: | LILLIPUT NURSERY, WEST AVENUE, SALFORDS | | |
| DESCRIPTION: | Proposed development of a 76 bedroom specialist dementia nursing care home (use class c2) with external areas and ancillary buildings, erection of refuse store, cycle store and garden store, formation of landscaped gardens and car parking area | | |
| All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail. | | | |

SUMMARY

This is a full application for the demolition of the existing building on the site and the erection of a 76 bedroom specialist dementia nursing car home with associated parking, ancillary facilities and landscaping.

The site is currently designated as Urban Open Land. The relevant policy, Pc6, does however allow for replacement of existing buildings on UOL where these would not compromise local visual amenity or the functioning of social, community or educational uses. In this instance, it is considered that those features which presently give the site its "green" character, namely the existing boundary landscaping and strong tree cover, would be retained as part of the development. In addition, the applicant has demonstrated through marketing evidence and analysis of alternative comparable facilities that there is no reasonable prospect of a nursery or other community use continuing on the site. In this instance, the proposals would not prejudice the functioning of any on-going community, social or educational uses. For this reason, it is concluded that there is no objection to the proposals on either the loss of UOL or the loss of community uses. The principle of a care home use on this site is also considered to comply with the relevant locational factors in policies CS14 and Ho21.

Whilst the proposed building would represent an increase in bulk, scale and massing compared to the existing single storey building; it is considered that it has been designed successfully and in such a way that, overall, the building would appear in keeping with the

character of the area. The height of the building would be compatible with the street scene of West Avenue and the design of the frontage, which reads as two semi-detached pairs, would respect the predominant pattern of the street scene. The materials selection is appropriate to the area, and would reinforce local distinctiveness. The layout would also allow for retention of significant tree cover, as well as opportunities for additional planting to contribute to the visual amenity of the site.

The layout of the development is such that reasonably generous separation distances would be retained between the proposed building and neighbouring properties. Given this, and the height of the proposals, it is not considered that the building would cause overbearing or overshadowing effects for neighbours, even acknowledging the lower land level of the bungalows to the south. Obscure glazing of some windows is proposed to ensure there would be no loss of privacy. As a result, whilst there would be some change experienced by adjoining occupiers, it is not considered that the proposal would cause unacceptable harm to their amenities. In most cases, this would be aided further by the retained extensive boundary tree cover which provides a high level of screening.

The Tree Officer was consulted on the application and has raised no objection subject to condition and has confirmed that a detailed landscaping scheme can be implemented which will contribute to the character of the area. In particular, trees along the southern, western and eastern boundaries would all be retained and a tree protection condition would ensure that these are not harmed by the development.

A total of 30 parking spaces are proposed to serve the development. This level of parking is underpinned by accumulation studies using data from the national TRICS database; this evidence has been reviewed by the County Highway Authority who agrees that the proposed level of parking is adequate and further that the level of vehicular movements generated by the proposed use would likely be comparable to existing. To help promote sustainable travel to the site, including public transport, a Travel Statement is recommended to be secured by condition. In addition, the developer has agreed to carry out works to provide a safer crossing point where the existing informal path across the Common emerges onto West Avenue, this project would ensure that this would be a safe and convenient route for future users of the development but would also clearly have wider public benefits, particularly for parents and children walking to Salfords Primary School which is welcomed.

The proposals would make effective use of a brownfield site within the urban area and would provide for nursing care places, a need for which has been identified in the Council's and County Council's own evidence, as well as in the applicant's submissions and would create some employment opportunities.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

County Highway Authority: No objection subject to conditions. Response includes the following commentary:

“Vehicle movements to and from the proposed development are likely to be similar to those of the existing use.

The developer is providing adequate parking, according to the results of a parking accumulation survey included with the application. As mentioned above, the trip rates for the proposed use are reasonable; therefore the arrivals and departures used to build the parking accumulation survey are reasonable too.

The developer is proposing a bellmouth access, but is not proposing tactile paving, which would be required. I have recommended a condition to cover this.

The developer has not submitted a Travel Statement to encourage non car mode use of travel to and from the site. I have added a condition to cover this.

Currently, pedestrians including school pupils are using an informal path between West Avenue and the A23 Horley Road where there is a guard rail on the west side of West Avenue. A kerb build out scheme, which is likely to cost between £15,000 and £20,000 is required to protect those vulnerable pedestrians from stepping out onto the carriageway from behind the guard rail. This scheme would be worthy of a CIL money.”

Tree Officer: No objection subject to conditions regarding tree protection/arboricultural measures and landscaping – summary of comments as follows

“The application is supported by detailed arboricultural information which has been undertaken by an arboricultural practice which has undertaken works on a number of occasions within the borough...

The AIA deals with the potential impact from the development which is mainly restricted to incursions into the root protection areas (RPAs) of retained trees. The incursions appear to be within the guidelines and tolerances as set out with BS 5837:2012 and can be managed subject to suitable construction methods (specialist surface construction) and tree protection measures...

The landscape submission includes a drawing and plant schedule along with a maintenance programme. Whilst the landscape is broadly acceptable there are elements which require improvement... Tree sizes are small and would need to be increased in some instances species selection is too ornamental for this location. There is sufficient species available to incorporate structural landscape trees into the design there are missed opportunities such as the south eastern corner of the application site where Amelanchier has been used.”

Salfords & Sidlow Parish Council: Objects for the following reasons: 1) the proposed development is over intensification of the site, 2) the building is still overbearing in this residential area, 3) the proposed parking space are insufficient, 4) the handover time of

7.30am to 8am means there could be a serious clash with school opening hours with additional vehicles using the roads and parking around the school and Care Home.

Surrey Lead Local Flood Authority: Following extensive dialogue with the applicant and revisions to the drainage strategy and site layout; Surrey LLFA confirms that they are satisfied the proposed drainage scheme is acceptable. No objection subject to conditions.

Thames Water: No objection based on the information provided, in respect of either surface water network infrastructure capacity or foul water sewage infrastructure.

Reigate & Banstead Neighbourhood Services: No objection but notes that a drop kerb will be required for the bin area. Provides advisory notes in respect of detail waste collection arrangements and bin store design.

SES Water: No comments

Representations:

Letters were sent to neighbouring properties on 20th September 2018 and subsequently on 3rd December 2018 in relation to the revised plans. A site notice was posted 26th September 2018 and the application was advertised in local press on 4th October 2018.

96 responses have been received, 2 of which objected to the proposals, 92 in support and a further 2 which adopted a neutral position but raised issues for consideration.

The main issues raised in the representations are:

| Issue | Response |
|---|---|
| Out of character with surrounding area | Paragraphs 6.16 to 6.26 and conditions 3, 7, 8 and 9 |
| Overdevelopment | Paragraphs 6.16 to 6.26 |
| Overbearing relationship | Paragraphs 6.28 to 6.31 and condition 3 |
| Noise and disturbance | Paragraph 6.32 and condition 5 |
| Inadequate parking | Paragraphs 6.35 to 6.42 and conditions 12, 13, 14 and 15 |
| Increase in traffic and congestion | Paragraph 6.38 and conditions 13, 14 and 15 |
| Hazard to highway safety | Paragraphs 6.38 to 6.40 and conditions 5, 11, 12 and 14 |
| Inconvenience during construction | Paragraphs 6.32 and 6.41 and condition 5 |
| Flooding | Paragraph 6.48 and conditions 6 and 18 |
| Drainage/sewage capacity | Paragraph 6.48 and conditions 6 and 18 |
| Alternative location/proposal preferred | No specific alternatives specified. Proposal has been considered on its own merits. Matters of principle addressed at |

| | |
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| | paragraphs 6.4 to 6.15. |
| Economic growth/jobs (Support) | Paragraph 6.50 |
| Need for elderly housing/care provision (Support) | Paragraphs 6.14 and 6.50 |
| Design (Support) | Paragraphs 6.16 to 6.26 |
| Regeneration of derelict/vacant site (Support) | Paragraph 6.50 |
| Loss of private view | Not a material planning consideration |
| Property devaluation | Not a material planning consideration |

It is acknowledged that a number of the representations received in support of the proposals raise very similar themes and issues and appear to be a templated letter. However, each letter carries the name and address of a separate individual and is therefore treated as a valid representation.

1.0 Site and Character Appraisal

- 1.1 The site comprises a former children's nursery on eastern side of West Avenue in Salfords, located just off the main A23.
- 1.2 The site consists of a largely single storey, flat roof building (with small part 1.5 storey) of utilitarian/municipal appearance. The building is set within a relatively generous site and is surrounded by a part grassed/part hard surfaced play area and small car park. The site is bounded to the east by a dense belt of trees, with further tree cover along the southern boundary and the western boundary fronting onto West Avenue.
- 1.3 The site is adjacent to residential dwellings and residential gardens to the north and south. To the south, the properties immediately abutting the site on Copsleigh Close are semi-detached, single storey bungalows although with two storey dwellings on the opposite side of the road. To the north on West Avenue, the character is again residential, largely two storey dwellings except for the immediately adjoining bungalow ("The Bungalow") which is a diminutive building set within a modest plot. To the east, the site adjoins Salfords Primary School and the playing fields thereof. The surrounding area is generally of residential character. On the opposite side of West Avenue is an area of wooded common land which is predominantly within the Metropolitan Green Belt.
- 1.4 As a whole, the application site extends to approximately 0.47ha.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was sought prior to the submission of the previous planning application. Advice was given in respect of matters of principle, including the need to justify loss of the nursery/community use, and in respect of the design, scale and massing of the building, the need for landscaping to the frontage and parking. Since the previous

withdrawn application, the design/massing of the building has been revised and the number of bedrooms reduced (84 to 76).

- 2.2 Improvements secured during the course of the application: Further reductions in the footprint of the building, including narrowing the width of the central “spine” of the building and the rear “wing”. Reduction in the number of rooflights in the front roof plane. Changes to detailed design and materials, including additional tile hanging and addition of chimney features. Improvements to the drainage strategy (moving away from a pumped system on the advice of Surrey County Council) to comply with sustainable drainage principles.
- 2.3 Further improvements to be secured through planning conditions or legal agreement: Various conditions are recommended to control landscaping, materials and other works to ensure a high quality development. Highways conditions are also recommended, including a condition to secure provision of the kerb build out identified as a “worthy” project in the County Highway Authority response to the application.

3.0 Relevant Planning and Enforcement History

- 3.1 There only notable planning history on the site relates to the recent application for an 84 bedroom care home (18/00955/F) by the same applicant. This application was withdrawn by the applicant to allow for the scheme to be reconsidered and redesigned in response to officer feedback.

18/00955/F - Proposed development of an 84 bedroom specialist dementia nursing care home (use class c2) with external areas and ancillary buildings, erection of refuse store, cycle store and garden store, formation of landscaped gardens and car parking area – Withdrawn by Applicant (3rd August 2018).

- 3.2 The current building was originally permitted under 75P/0018 which granted the 270 place primary school, 30 place nursery school (which is now Lilliput) and the adjoining caretakers bungalow.

4.0 Proposal and Design Approach

- 4.1 The proposed development seeks planning permission for the demolition of the existing nursery building and the erection of a care home comprising 76 rooms with associated communal and ancillary facilities together with associated parking and communal gardens.
- 4.2 The proposed building would set back from the road frontage further than the prevailing building line. The proposed building has an “H” shaped footprint of three storeys; however, all of the top floor accommodation would be wholly within the roof.
- 4.3 To the front, the building has been designed to read as two pairs of semi-detached dwellings. Design detailing and materials would include hipped roofs, front gable and hipped bay projections, brick, tile hanging and areas of render with glazing link sections.

- 4.4 An access road and parking area served by a newly created single crossover from West Avenue would be created to the front of the building with the rear of the plot landscaped to create communal gardens.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.6 Evidence of the applicant's design approach is set out below:

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|-------------|--|
| Assessment | <p>The development site itself is an isolated development within a residential location. It is adjacent to a primary school and a range of housing estate development. It is well screened by dense boundary tree planting and vegetation. On the north and west boundaries, the development has a prominent frontage to West Avenue. The site is generally level. In the vicinity of the site there is a mixture of architectural styles; they present mainly face brick of render facades with pitched tile roofs over. Towards Salfords and Redhill a more commercial architectural style can be found most notably the retail parade.</p> <p>The Design Statement acknowledges the landscaped nature of the site which is contained by dense landscaping and tree cover on the site boundaries. The Statement identifies that this existing boundary landscaping will be retained.</p> |
| Involvement | <p>Pre-application advice was sought from the Council in 2017 and design of the scheme amended in response. A public consultation was held in November 2017 and an exhibition in April 2018. The Design & Access Statement summarises that the feedback was overall positive with general support for a care home on site. However, some reservations were noted including problems with drainage on Copsleigh Close, parking, traffic and congestion, access to Salfords Primary School, bin locations and height/density of the building. The applicants Design Statement also identifies that they have engaged with local health service providers, including East Surrey Hospital.</p> |
| Evaluation | <p>The Design & Access Statement and Planning Statement set out the evolution of the design of the scheme, as a result of the pre-application discussions and previously withdrawn scheme. This includes a revised footprint, amendments to the frontage buildings and improved parking layout. These changes resulted in a reduction in units from 84 to 76. A prerequisite of the</p> |

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| | applicant's schemes is that they must be within half a mile level walk of essential facilities and services, hence the reason for selecting the application site. |
| Design | The applicant's justification for the chosen design is that it adopts a traditional architecture which seeks to follow the surroundings, both in form, traditional roof lines and in the use of familiar materials. The layout provides for dedicated access to the car park for the care home, separating movements and avoiding the sharing with the adjacent school pedestrian access. The Design Statement sets out the overall design strategy which seeks to ensure that the buildings fits with the surrounding area whilst also providing a building which is designed and laid out to promote well-being of residents through use of glazing to maximise daylighting and external space. |

4.7 Further details of the development are as follows:

| | |
|-------------------------|---|
| Site area | 0.47ha |
| Existing use | Children's nursery (D2) |
| Proposed use | Care Home (C2 – 76 beds) |
| Proposed parking spaces | 30 |
| Parking standard | BLP 2005 – 15 (1 space per 5 residents "old people's homes") BLP 2005 – individual assessment "nursing homes" Surrey standards 2012 – as above but also individual assessment |

5.0 Policy Context

5.1 Designation

Urban Area
Urban Open Land
Flood Zone 1

5.2 Reigate and Banstead Core Strategy

CS1 (Presumption in favour of sustainable development)
CS4 (Valued townscapes and historic environment)
CS10 (Sustainable development)
CS11 (Sustainable construction)
CS12 (Infrastructure delivery)
CS14 (Housing needs of the community)
CS17 (Travel options and accessibility)

5.3 Reigate & Banstead Borough Local Plan 2005

| | |
|---------------------------------|-----------------------|
| Landscape & Nature Conservation | Pc2G, Pc4, Pc6 |
| Housing | Ho9, Ho13, Ho16, Ho21 |
| Community Facilities | Cf1 |
| Movement | Mo4, Mo5, Mo6, Mo7 |
| Utilities | Ut4 |

5.4 Other Material Considerations

| | |
|-------------------------------------|--|
| National Planning Policy Framework | |
| National Planning Practice Guidance | |
| Supplementary Planning Guidance | Developer Contributions SPD Affordable Housing SPD Local Distinctiveness Design Guide |
| Other | Human Rights Act 1998 Public Sector Equality Duty Community Infrastructure Levy Regulations 2010 (as amended) Conservation of Habitats and Species Regulations 2010 |

6.0 **Assessment**

6.1 The application site is situated in the urban area on a site which is designated as Urban Open Land. The buildings on site were formerly used as a privately run children's nursery and are thus considered to represent a community use.

6.2 The main issues to consider are therefore:

- Principle of redevelopment (Urban Open Land and loss of community use)
- design and impact on the character of the area
- effects on the amenity of neighbouring properties
- access, parking and highway implications
- trees and landscaping
- CIL and infrastructure contributions
- other matters

Principle of redevelopment

- 6.4 As above, the site is designated in the 2005 Borough Local Plan as an area of Urban Open Land. In this respect, Policy Pc6 – which seeks to resist the loss of UOL – is relevant. Furthermore, given the most recent use of the site as a children’s nursery (D2 class), it is considered to represent a community use and thus the provisions of Policy Cf1 of the Local Plan and CS12 of the Core Strategy, are also applicable.
- 6.5 Whilst Policy Pc6 generally resists development on Urban Open it is important to recognise that the application site is already previously developed, being occupied by the former nursery building. In this respect, Policy Pc6 acknowledges that the extension or replacement of existing buildings included within UOL can be acceptable, subject to consideration of the contribution that the UOL makes to local character and visual amenity and to the functioning of any essential community, social or educational use.
- 6.6 In its current state, it is considered that any contribution that the site makes to local character and visual amenity largely derives from the frontage landscaping along West Avenue, as well as the backdrop of mature trees which surrounds the site. The “open” areas within the site are not widely appreciable nor is there a strong sense of “relief” from the built up area beyond the effect which the front boundary landscaping offers.
- 6.7 The proposed development would retain and supplement the existing tree planting and hedging along the West Avenue frontage, whilst also maintaining the mature tree cover along the boundaries to Copsleigh Close and the adjoining school. In this sense, it would maintain those features which currently contribute to the greenness of the site and the wider visual amenity. The proposed buildings, whilst increasing to two storey, would be generously set back from the site and, given their scale, would not appear unduly obtrusive in behind this frontage landscaping. With the previously developed nature of the site in mind, it is not considered that replacing the existing building on site would detriment local visual amenity.
- 6.8 In terms of the functioning of essential community, social or educational use; the previous children’s nursery operation ceased some time ago and the site has been vacant since. Whilst in operation as a children’s nursery, the site was effectively privatised and only open for use by those children attending the nursery. The situation would, in essence, be no different were the site redeveloped to a care home since the communal spaces around the building would remain available to predominantly residents/occupants only. In this context, it is not considered that redevelopment would prejudice any essential community, social or educational function, particularly given the associated discussion below regarding the prospects of a continued community use of the site.
- 6.9 Taking the above factors into account, it is concluded that the proposals to replace the existing building with a care home would not conflict with the provisions of Policy Pc6 of the adopted 2005 Borough Local Plan. It is also noted that, through the Council’s emerging Development Management Plan, the vast majority of the site proposed to be removed from Urban Open Space designation.

- 6.10 Turning to the loss of community use, Policy Cf1 and CS12 both seek to protect existing community facilities, except where it can be demonstrated that there is no need for the facility or that it is surplus to requirements. In this case, the applicant has provided details of the marketing exercise undertaken following the closure of the previous children's nursery. This marketing was undertaken by established local commercial property agents (Hurst Warne); the property was offered on the open market and, as part of this, approaches were made directly to community users and leisure operators to establish whether there was a demand. The marketing summary from Hurst Warne confirms that the marketing exercise generated no serious interest or proposals from parties looking to continue a children's nursery or community use, and no offers from such operators.
- 6.11 In addition to this, the information supplied by Hurst Warne confirms that they were instructed to market the premises due to a steady downturn in the business of the previous children's nursery which had experienced declining numbers of attendees due to increased competition. This resulted in the operator choosing to consolidate their operations into one facility. This commentary is supplemented by a plan which demonstrates that there are a number of alternative facilities in close proximity in Redhill, Reigate, Earlswood and Horley.
- 6.12 Overall, it is therefore concluded that the evidence supports the fact that there is no reasonable prospect of a continued children's nursery use on the site, or – as demonstrated by the marketing exercise – any realistic prospect of an alternative community use on the site. Furthermore, the loss of the children's nursery use is not considered to prejudice overall availability of such services, given the wide range and number of alternatives in the surrounding area. Based on the evidence, it is therefore considered that loss of the community use is justified by reference to the requirements of policies Cf1 of the Local Plan, CS12 of the Core Strategy and the associated relevant provisions of the NPPF (notably paragraph 92).
- 6.13 In terms of the proposed care home, policy CS14 of the Core Strategy seeks to encourage provision of housing for the elderly and those with special care/support needs in sustainable locations whilst avoiding an undue concentration in any one location. The application site is considered to perform comparatively well against these considerations, being located close to major bus routes along the A23 (there is a bus stop 100m from the site), and a small parade of shops approximately 400m from the site, whilst also being close to health facilities, in particular East Surrey Hospital. Mindful of likely mobility and nature of occupants of the care home, it is considered that the site is suitably located to meet their needs; whilst also being accessible for staff.
- 6.14 With respect to "undue concentration", the applicant has provided analysis which shows that there are no other similar care homes within 1 mile of the site and they also provide within their Operations Statement a "Care Needs Assessment" which they suggest identifies a shortfall of 120 beds within a 3 mile radius. Whilst a detailed critique of the applicant's need figure has not been carried out, the Council's own evidence submitted in support of the Development Management Plan identifies that there could be a need for up to 463 nursing care places across the borough over the next 10 years if current geographic trends are maintained. This

evidence document also suggests that the Council should “continue to permit windfall developments” for nursing care where there is easy access to appropriate facilities. Surrey County Council’s “Accommodation with Care and Support” commissioning statement for the East Surrey CCG area (which includes Reigate & Banstead), similarly identifies a need across the borough for between 22 and 391 nursing care places by 2025, even acknowledging an overall commissioning aim to “*delay the age at which people on average enter nursing care*”. Mapping contained within Surrey CC’s document corroborates the view that there is a relatively short supply of care homes within the ward within which the site is located. There is therefore a general acceptance of a continued need for nursing care homes (especially those with specialist support e.g. for dementia) and it is not considered that a care home on this site would lead to an undue concentration.

- 6.15 Based on the above, there is no “in principle” objection to redevelopment of the site for a care home as proposed.

Design and impact on the character of the area

- 6.16 The replacement building would be set back from the road frontage with West Avenue, with an area of parking and associated landscaping to the front of the building.
- 6.17 The building itself would be of H-shaped form with front and rear “wings” joined by a central spine. The proposed building would represent an increase in bulk, scale and massing compared to the existing single storey building; however, it is considered that it has been designed in such a way that the additional bulk is mitigated and, overall, the building would be compatible with the character of the area.
- 6.18 Firstly, whilst the front wing of the building would be a single wide block, this block has been successfully designed such that it would read as two semi-detached pairs, responding to the form and pattern of the other semi-detached pairs which characterise West Avenue to the north of the site. The design is considered to be effective in reinforcing the appearance of two semi-detached pairs through the use of a deeply set back “link” element and the variation in materials, both between the buildings and in terms of the link which would be extensively glazed. Adequate space would be retained to the boundaries such that the building would not unduly “fill” the plot nor appear cramped in the street scene.
- 6.19 In terms of height and scale, the proposed building would also reflect the general height of dwellings along West Avenue, which are predominantly two storeys. Whilst the proposed building would have an additional third floor of accommodation, this would be wholly contained within the roof and – to the front – would be served only by a small number of rooflights such that this accommodation would be relatively discrete and its visual effect on the street scene would be negligible. The roof accommodation in the rear projection of the building would be served more extensively by dormers; however, as these would not be highly visible within the street scene, this is not considered to be harmful.
- 6.20 As the submitted street scene drawings illustrate, the overall ridge height of the proposed building would be broadly follow that of the other semi-detached pairs to

the north on West Avenue, and would actually be slightly lower, reflecting a gentle stepping down in ridgeline which would respond appropriately to the topography of West Avenue. Coupled with the fact that the building would be set back generously from the road frontage, it is felt that – even with its greater width and massing – the building would not appear unduly dominant from public vantage points on West Avenue and the adjoining Common. Even acknowledging the bungalow next door, it is therefore considered that the proposal – by virtue of its height, scale and design – would integrate successfully into the street scene, aided by the incorporation of a subservient side “extension” to the left hand side of the building assists with the transition between the two.

- 6.21 Given the scale, set back and significant boundary tree cover, it is not felt that the building would appear dominant or conspicuous in the backdrop to Copsleigh Close, even acknowledging the change in levels.
- 6.22 The proposed care home would, by virtue of its footprint, project relatively deeply into the site. Whilst this differs from the grain of the frontage dwellings which characterise the surrounding area, it is not considered that this would be unduly harmful to the character of the area, particularly mindful of the fact that it would replace a building of considerable and deep footprint. The configuration of the proposed building, with front and rear “wings” linked by a narrower deeply recessed central spine is also considered to ensure that the depth of projection into the site would not be conspicuous in the West Avenue street scene and would be sufficiently “broken up” so as to not appear unyielding when viewed from the adjoining access to the school.
- 6.23 The design and appearance of the proposed care homes is considered to reflect the high standard of design as required by local and national policy. The hipped roof form proposed is in keeping with the buildings in the surrounding area and the gabled and hipped projections which are used to provide interest to the front elevation draw on features which can be readily found on the nearby semi-detached pairs. The proposed palette of materials – including brick, tile hanging and selective areas of render – together with details such as the chimneys responds appropriately to local distinctiveness and adds variety.
- 6.24 The siting of the building would, as described above, be set slightly further back from the road than the existing properties. A driveway and parking area would be created to the front of the building. Whilst this would introduce a degree of hardstanding and hard landscaping to the frontage, this would be screened well by retained tree cover along the frontage together with retained or replacement hedge/shrub planting for which there is ample space along the front boundary. On this basis, it is not felt that the parking area would unduly urbanise the frontage.
- 6.25 To the rear and between the “wings” of the building, the site would be landscaped to provide communal gardens for the residents. The submission proposes to retain and make use of much of the existing landscaping, particularly the dense and mature boundary tree cover, which would be supplemented by additional planting and landscaping. New tree planting along the northern boundary would help to soften and screen views of the building along the school access road. The Tree Officer was consulted on the application and confirmed that the landscaping

proposals were broadly acceptable, subject to some enhancement of tree sizes, etc. which can be secured through condition.

- 6.26 In conclusion, although the building would be markedly larger than which it replaces, the proposals have been well-designed and handled such they would appear in keeping with the pleasant suburban character of the area. The proposal is therefore considered to comply with policies Ho9, Ho13, Ho16 and Ho21 of the 2005 Borough Local Plan and policies CS4 and CS10 of the Core Strategy.

Effects on the amenity of neighbouring properties

- 6.27 The proposal would replace the existing predominantly single storey block with a two storey, H-shaped block projecting back into the site. Careful consideration has therefore been given, as required by policies Ho9 and Ho21, to the relationship with and amenities of neighbouring properties.
- 6.28 To the rear (west), the application site adjoins the playing fields of Salfords Primary School. Whilst there would be some change experienced from the school, it is not considered that the building would be unduly detrimental to the school environment or functioning thereof, particularly given the separation distances to main teaching spaces and significant intervening tree cover between the two sites.
- 6.29 To the south, the site adjoins the rear boundaries of a number of residential neighbours on Copsleigh Close. These neighbours are bungalows and the dwellings themselves are set at a lower land level than the proposed building reflecting the topography in the area. The proposed building would, at its closest point, be over 10m from the rear boundaries with these properties and over 25m from the main rear elevations. At these distances, it is not felt that the building would be overbearing upon these neighbouring properties, even acknowledging the lower level of the bungalows. For much the same reasons, and mindful of the fact that these neighbours are due south of the application site, it is not felt that the proposed building would cause material overshadowing or, or loss of light to, these dwellings. The significant intervening tree cover, which is proposed to be retained, would also act to screen the development from these neighbours. With regard to overlooking, there are only 3 first floor or above windows in the southern elevations of the building (excluding those in the central spine which would be over 25m from the boundary with Copsleigh Close). These windows serve either communal stairwells or are secondary windows to bedrooms; on this basis, a condition requiring these to be obscure glazed to negate any potential risk of overlooking is considered reasonable.
- 6.30 To the north on West Avenue, the site adjoins The Bungalow, a single storey dwelling. The flank wall of the front part of the proposed care home would be set back behind the rear elevation of The Bungalow and thus, would give rise to some degree of change for this neighbour. However, the flank wall would be approximately 9m from the side boundary of this neighbouring property. At this distance, even acknowledging the step up from single to two storeys, it is not felt that the building would be overbearing on this neighbour. Furthermore, from observations gleaned on site, it appears that the main living rooms to The Bungalow are on the northern side of the dwelling and the part of the dwelling closest to the

boundary with the application site is a garage. The proposed building would not infringe a 45 degree angle taken from the rear windows of The Bungalow; hence it is not considered that it would cause an unacceptable overshadowing to this neighbour. There are a number of windows on the northern elevations of the front and rear wings of the building. Those on the rear “wing” of the building would at the back of the site and, given this, would be sufficiently distant from The Bungalow and its rear garden area so as to not cause unacceptable overlooking. The north facing windows on the front “wing” of the building would be more directly adjacent to the rear gardens of The Bungalow and could cause some loss of privacy. However, these windows are secondary to bedrooms or serve non-habitable areas such that they could reasonably be obscure glazed to prevent any harmful effect. A condition is proposed to achieve this.

- 6.31 Other neighbours, including those further north on West Avenue, are considered to be sufficiently distant from the proposed building such that their amenity would not be materially harmed by the proposal.
- 6.32 Whilst some disturbance might arise during the construction process, this would by its nature be a temporary impact. Other environmental and statutory nuisance legislation exists to protect neighbours and the public should any particular issues arise. A condition requiring a Construction Transport Management Plan is recommended which would also assist in ensuring the construction and logistics associated with the site are appropriately managed and would not cause undue disruption. In use, it is considered that the proposed care home use of the site would be likely to generate significantly less noise and disturbance than the current lawful use as a children’s nursery.
- 6.33 Concerns have been raised in relation to the effect of the building on television signal, noting that properties are typically fixed on Reigate TX or Crystal Palace which are north-northwest and north-northeast of the site respectively. Whilst these concerns are a material consideration, it is considered that – given the height of the building (c.10m) and its distance from the aerials on most properties to the south (over 25m at the closest point and not a single unbroken flank presented along the southern boundary), it is not felt that the proposals would cause a loss or material detriment to signal quality. The building would be lower than the height of much of the prevailing tree cover along the southern boundary.
- 6.34 On this basis, whilst giving rise to a degree of change in relationship to surrounding properties, the proposal is not considered to give rise to any seriously adverse impacts on neighbour amenity and therefore complies with policies Ho9 and Ho21 of the Borough Local Plan 2005.

Accessibility, parking and highway implications

- 6.35 The development would be served by a front parking court, with space for a total of 30 vehicles which would be accessed by a new single central crossover from West Avenue.
- 6.36 Concerns have been raised in some representations regarding the adequacy of the proposed parking provision. The 2005 Local Plan incorporates standards for “old

people's home" (1 space per 5 residents) which, if applied to this proposal, would suggest a requirement for 15 spaces, but recognises that parking provision for nursing care should be assessed on a case by case basis.

- 6.37 In terms of an individual assessment, the applicant's Operations Statement indicates that the maximum number of staff on site during the day will be 31, although there will be a peak period at "handover" when this rises to 35 for a short 30 minute window. However, these figures represent all potential staff on site and do not reflect the fact that some will travel to the site by modes other than single person car trips. To supplement this statement, the application was also accompanied by a Transport Statement which analyses likely parking accumulation using data from comparable care home sites drawn from the national TRICS database. This shows that the peak parking demand would be 20 spaces. This evidence has been reviewed by the County Council who have confirmed that the approach taken is robust and thus raises no objection to the level of parking provision proposed. Based on the evidence and the expert views of the County Highway Authority, it is therefore concluded that the 30 spaces proposed are sufficient.
- 6.38 The County Highway Authority also notes that the vehicular movements generated by the proposed development are likely to be similar to those which would be generated by the existing use as a children's nursery. On this basis, it is not considered that the proposals would have an unacceptable impact on traffic and congestion. Whilst concerns have been raised regarding the potential overlap between the school drop-off times and the care home handover time, the effect of this would not be materially different to the current situation where there is likely to be overlap between nursery and school arrivals. Issues of inconsiderate parking by parents dropping children off at school are a matter for proper enforcement and outside the scope of this application.
- 6.39 To help promote sustainable and non-car travel to the site, the County Highway Authority (CHA) has recommended that a Travel Statement be prepared. This would be secured by condition. With regards to bus travel, the site is relative close to the nearest bus stop on the A23 which is c.100m away via an informal path which follows a desire line across the Common (the on road route is over double the distance). Whilst the informal path itself is adequate, the point at which it meets West Avenue present gives rise to a safety issue in that pedestrians emerge from this path straight onto the carriageway (as noted in the CHA consultee response). The CHA response highlights that a kerb build out on the western side of West Avenue would be required to resolve this and provide a place for pedestrians to wait before crossing. There is however currently insufficient funding for these works.
- 6.40 Ensuring that future staff of, and visitors to, the care home would have a convenient and safe route to the nearest bus stop is considered necessary to help maximise the take-up of public transport to the site. On this basis, it is considered reasonable to require the developer, through condition, to carry out the works to create the kerb build out, a position which the developer is agreeable to. Whilst this improved crossing point is necessary for the development, it would clearly also improve the situation for the public at large, including parents and children walking to Salfords Primary School and thus is an additional positive benefit of the scheme.

- 6.41 As above, the County Highway Authority has recommended that a Construction Transport Management Plan be required prior to commencement. Given the proximity to the secondary pedestrian access to Salfords Primary School, which is understood to be well used, it is considered prudent to amplify this to specify that no construction vehicles or HGV movements to and from the site should occur during school pick up/drop off times, nor should such vehicles wait in surrounding roads during these times.
- 6.42 It is therefore concluded that, subject to conditions, the scheme provides an appropriate and justified level of parking and would not give rise to adverse effects on highway safety or operation in the locality. It would also secure an improved crossing point which would not only support sustainable travel by future users of this development but also the wider public. The application is therefore considered to meet the requirements of policies Ho9, Ho21, Mo5 and Mo7 of the Local Plan 2005 and the provisions of Policy CS17 of the Core Strategy.

Community Infrastructure Levy (CIL) and requested contributions

- 6.43 The proposal, being for a C2 use specialist nursing care facility, falls outside of the uses which attract a charge based on the Council's adopted Charging Schedule and as such the development would not be liable to pay CIL. In addition, being a C2 use, the development would not attract any affordable housing requirements.
- 6.44 In terms of other contributions and planning obligations, the Community Infrastructure Levy (CIL) Regulations which were introduced in April 2010 which states that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development. As such only contributions that are directly required as a consequence of development can be requested and such requests must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on.
- 6.45 As above, the applicant has agreed to construct the proposed kerb build out necessary to provide a safer crossing point from the adjoining informal path across the Common. These works can be adequately secured through a planning condition and thus a legal agreement is not necessary or appropriate (particularly mindful of the advice to that effect in national Planning Practice Guidance). No other requests have been made in this case by consultees nor otherwise identified.

Other matters

- 6.46 As described earlier in the Report, there is tree cover along three boundaries of the site, with particularly dense belts along the southern and eastern boundaries. The application was supported by appropriate arboricultural information which has been reviewed by the Council's Tree Officer. No tree removals are proposed; however, selective facilitative pruning is proposed in some instances to provide adequate clearance and general management of the trees. Some encroachment would occur into the root protection areas of retained trees, particularly as a result of the car

parking area, however, these would be limited and the arboricultural submission includes details of measures to prevent harm to their health. The Tree Officer confirms that the *“impact from the development...is mainly restricted to incursions into the root protection areas (RPAs) of retained trees. The incursions appear to be within guidelines and tolerances...and can be managed subject to suitable construction methods...”*. On this basis, the impact on tree cover is considered to be acceptable and therefore complies with Policy Pc4 of the Local Plan. Additional landscaping is also proposed within the site, including supplementary tree planting which would add to character and visual amenity. The Tree Officer has provided some advice for improvements to the initial landscaping scheme, such as more structural tree planting and native hedging; a finalised landscaping scheme addressing these points will be secured by condition.

- 6.47 The site is not subject to any specific nature conservation designations; however, the application was supported by an Ecological Assessment by Peachecology. This study concludes the site is generally of low ecological value; however, allied to the above, some of the boundary planting and trees offer some potential habitat, including for birds and commuting/foraging for bats. The building itself was examined and identified as having negligible potential for roosting bats. The assessment makes a number of high level recommendations, particularly in relation to vegetation works and future landscaping to protect and promote biodiversity. It also recommends installation of bat/bird boxes. A condition requiring the development to be carried out in broad accordance with the recommendations of this study is considered reasonable and necessary to ensure the development would not harm or result in a net loss of biodiversity as required by Policy Pc2G and CS2.
- 6.48 The site is in Flood Zone 1 according to Environment Agency Flood Maps and is therefore at low risk of river flooding. The application was supported by a surface water drainage strategy which has been reviewed by Surrey County Council (as the Lead Local Flood Authority). As on-site ground testing has demonstrated that infiltration would not be feasible, the proposals initially showed a pumped surface water system as well as two parking bays over an existing drainage ditch. Surrey CC initially objected on both these points, particularly noting the long-term maintenance liabilities of a pumped system. Following significant dialogue between the applicant and SCC, a revised drainage scheme has been secured which reverts to a controlled, gravity fed discharge into the existing surface water drainage network. The layout was also amended to relocate the two bays previously over the drainage ditch. With this additional information, Surrey CC have confirmed they have no objection subject to conditions. On this basis, the scheme meets with policy Ut4 of the Local Plan, CS10 of the Core Strategy and the requirements of national policy in relation to drainage. No objection has been raised by Thames Water in relation to the capacity of either foul or surface water infrastructure to accommodate the development.
- 6.49 An Energy Statement was submitted to accompany the application. This sets out the targets that the scheme will be designed to meet, including the requirements in Policy CS11; and the technologies and measures which will be considered to meet this. The scheme has therefore given early consideration to how the necessary

policy requirements can be met; a condition requiring BREEAM 'Very Good' to be achieved will be imposed.

- 6.50 As discussed above, the proposals would provide care and nursing care places which would help to meet the needs identified in both the Council's and Surrey County Council's evidence. The proposals would also provide employment; the applicant has indicated that 28 full-time roles and 30 part-time roles could be supported by the development, with a maximum of 35 staff on site at any one time. These social and economic benefits add weight, albeit modest, in favour of the scheme. The proposals would make use of a presently vacant, brownfield site and – in this regard – would support both the Council's "urban areas first" approach and the aims of the Framework which seeks to "*make as much possible use of previously-developed or 'brownfield' land*" and encourages local planning authorities to "*give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs*".

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

| Plan Type | Reference | Version | Date Received |
|------------------|------------------|----------------|----------------------|
| Location Plan | 932-200 | A | 18.09.2018 |
| Location Plan | 932-100 | | 18.09.2018 |
| Proposed Plans | 932-503 | A | 18.09.2018 |
| Other Plan | 932-102 | | 18.09.2018 |
| Floor Plan | 932-103 | | 18.09.2018 |
| Elevation Plan | 932-104 | | 18.09.2018 |
| Site Layout Plan | 932-101 | | 18.09.2018 |
| Site Layout Plan | 932-201 | C | 29.11.2018 |
| Site Layout Plan | 18-98125/02 | | 23.11.2018 |
| Other Plan | 3469 006 | P3 | 29.11.2018 |
| Other Plan | 3469 005 | P4 | 29.11.2018 |
| Street Scene | 932-500 | B | 29.11.2018 |
| Floor Plan | 932-300 | B | 29.11.2018 |
| Floor Plan | 932-301 | B | 29.11.2018 |
| Floor Plan | 932-302 | B | 29.11.2018 |
| Roof Plan | 932-303 | B | 29.11.2018 |
| Elevation Plan | 932-400 | B | 29.11.2018 |
| Elevation Plan | 932-401 | B | 29.11.2018 |

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels across the site and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

4. No development shall commence including demolition or any groundworks preparation until a detailed, scaled finalised Arboricultural Method Statement (AMS) and related Tree Protection Plan (TPP) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings and hard surfacing. The AMS shall also include a pre commencement meeting with the LPA, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan.

5. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) on-site turning for construction vehicles
 - (g) routing of construction and HGV vehicle movements to and from the site
 - (h) no construction or delivery vehicle movements to or from the site shall take place at school drop off or pick up times, nor shall the contractor permit any construction vehicles or HGVs associated with the development at the site to be laid up, waiting in West Avenue and surrounding roads including Copsleigh Close, Copsleigh Avenue and Woodside Way during these times
 - (i) measures to prevent the deposit of materials on the highway

Has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

6. Notwithstanding the approved drawings, no development shall commence until the detailed design of the surface water drainage scheme has been submitted to an approved in writing by the Local Planning Authority. Such details should include:
- a) A design that satisfies the SuDS Hierarchy and is compliant with the national non-statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS
 - b) Evidence that the proposed solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events, during all stage of the development (pre, post and during), associated discharge rates and storage volumes shall be provided using a maximum discharge rate of 4.0 litres per second (unless otherwise agreed by the Local Planning Authority)
 - c) Detailed drainage design drawings and calculations to include: a finalise drainage layout detailing the location of drainage elements, pipe diameters, levels and long and cross sections of each element, including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers, etc.)
 - d) Details of how the sustainable drainage system will be protected during construction and how run-off (including any pollutants) from the development site will be managed before the drainage system is operational.
 - e) Details of drainage management responsibilities and maintenance regimes for the drawing system.
 - f) A plan showing exceedance flows (i.e. during rainfall greater than design or during blockage) and how property on and off site will be protected

Reason:

To ensure that the development is served by an adequate and approved means of drainage which would not increase flood risk on or off site and is suitably maintained throughout its lifetime to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Core Strategy 2014 and the requirements of non-statutory technical standards.

7. No development above ground floor slab level shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. The landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme. The scheme shall specifically include for the retention of the existing front boundary hedging or its replacement with an appropriate alternative native hedge.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837: Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area in order to comply with policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the recommendations within British Standard 5837.

8. Notwithstanding the approved plans, no development above ground floor slab level of any part of the development hereby approved shall take place until written details of the materials to be used in the construction of the external surfaces, including fenestration, balconies and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

9. The development hereby approved shall be carried out in accordance with the recommendations for mitigation, construction practice and ecological enhancement identified in the Ecological Assessment by Peachecology (report reference 0182, Issue 02, dated 28th August 2018).

Reason:

In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G.

10. Notwithstanding the drawings, the development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities and those of future occupants with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

11. Notwithstanding the submitted plans, the development hereby approved shall not be occupied unless and until the proposed bellmouth vehicular access to West Avenue has been constructed and provided with tactile paving across the pedestrian crossing points and the removal of "School Keep Clear" markings from the carriageway of West Avenue in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.

12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking/turning areas shall be retained and maintained for their designated purposes.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.

13. The development hereby approved shall not be first occupied unless and until the cycle/mobility scooter store and bin/refuse store have been constructed and provided in accordance with the approved drawings. Thereafter the approved above facilities shall be retained and maintained for their designated purpose.

Reason:

To ensure that a satisfactory external appearance is achieved of the development and to ensure facilities are in place to manage waste and encourage cycling with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13 and Reigate and Banstead Core Strategy Policy CS17.

14. Notwithstanding the approved plans, the development hereby approved shall not be first occupied unless and until an uncontrolled crossing point consisting of a kerb build out with dropped kerb and tactile paving has been constructed on West Avenue at the point where it meets the existing footpath across the Common to the A23 (as presently marked by a guard rail) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason:

To ensure that a safe and convenient route to the nearest bus stop is available in order to encourage sustainable travel and ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005, CS17 of the Reigate and Banstead Core Strategy and the objectives of the NPPF.

15. The development hereby approved shall not be first occupied unless and until a Travel Statement for the development has been submitted to and approved in writing by the Local Planning Authority. The Statement shall be prepared in accordance with the objectives of the National Planning Policy Framework and Surrey County Council's "Travel Plans Good Practice Guide" and shall include details of:

- a) A travel information pack to be provided to staff
- b) Options available to travel to and from the site by public transport, walking and cycling and how this will be promoted amongst staff and visitors
- c) How the travel information will be kept up to date

The Travel Statement shall thereafter be implemented upon first occupation and shall thereafter be maintained and updated in accordance with the approved details.

Reason:

To ensure that opportunities for sustainable travel to and from the site are encouraged and maximised in accordance with Policy CS17 of the Reigate and Banstead Core Strategy and the objectives of the NPPF.

16. The development hereby approved shall not be first occupied until details of external lighting within the site have been submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed prior to occupation and thereafter maintained in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

17. The development hereby approved shall not be first occupied unless and until details of any plant and ancillary equipment to be installed on the site, including its siting and noise specification, has been submitted to and approved in writing by the Local Planning Authority. The plant shall be installed prior to occupation and thereafter maintained in accordance with the approved details so as to prevent transmission of noise and vibration into neighbouring properties.

Reason:

To ensure that a satisfactory external appearance is achieved of the development and to safeguard the amenities of neighbouring occupiers with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

18. The development hereby approved shall not be first occupied unless and until a verification report demonstrating that the sustainable urban drainage system has been constructed as per the agreed scheme (or detail any minor variations) has been submitted to and approved in writing by the Local Planning Authority. The validation report should be carried out by a qualified drainage engineer.

Reason:

To ensure that the development is served by an adequate and approved means of drainage which would not increase flood risk on or off site and is suitably maintained throughout its lifetime to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the requirements of non-statutory technical standards.

19. The first floor windows in the southern elevations of the front and rear sections of the building (shown on approved drawing 932-301B as serving corridor 5, Room 37 and Room 38) shall be glazed with obscured glass and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

20. The first floor windows in the northern elevation of the front section of the building (shown on approved drawing 932-301B as serving stairwell 1, stairwell 2 and Room 56) shall be glazed with obscured glass and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

21. Within three months of the occupation of the development hereby approved, a final certificate demonstrating that BREEAM 'Very Good' rating is achieved as a minimum shall be submitted to and approved by the Local Planning Authority.

Reason:

To ensure that the development is constructed to appropriate sustainability standards with regard to Policy CS11 of the Reigate and Banstead Core Strategy 2014.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is advised that prior to the occupation of the development, adequate provision should be made for waste storage and collection. You are advised to contact the Council's Recycling and Cleansing team to discuss the required number and specification of wheeled bins on rc@reigate-banstead.gov.uk or on the Council's website at http://www.reigate-banstead.gov.uk/info/20051/commercial_waste.
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;

- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. With respect to the Construction Transport Management Plan required under Condition 3, the developer is strongly encouraged to engage with the adjoining Salfords Primary School in order to ensure that construction movements and activities would not prejudice the safety of parents, children and visitors to the school.
5. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see: www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme. The applicant is also advised that consent may be required under Section 23 of the Land Drainage Act 1991. Please see: www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice
6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
7. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
8. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.

9. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and shrubs shall be in keeping with the character and appearance of the locality and species selection should have a strong native or indigenous influence. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 6m 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
10. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings.

If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigate-banstead.gov.uk/info/20277/street_naming_and_numbering

11. If the proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written consent.
12. If the proposed works result in infiltration of surface water to ground within a Source Protection Zone, the Environment Agency will require proof of surface water treatment to achieve water quality standards.
13. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Permit enquiries should be directed to Thames Water's Risk Management Team. Further information is available at www.thameswater.co.uk/wastewaterquality.
14. There are public sewers crossing or close to the development site. The applicant is therefore advised to review Thames Water's guide in relation to working near or diverting their pipes: <https://developers.thameswater.co.uk/developing-a-large-site/planning-your-development/working-near-or-diverting-our-pipes>.
15. The verification report submitted in respect of the surface water drainage system should include details of the management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices, outfalls, etc.)

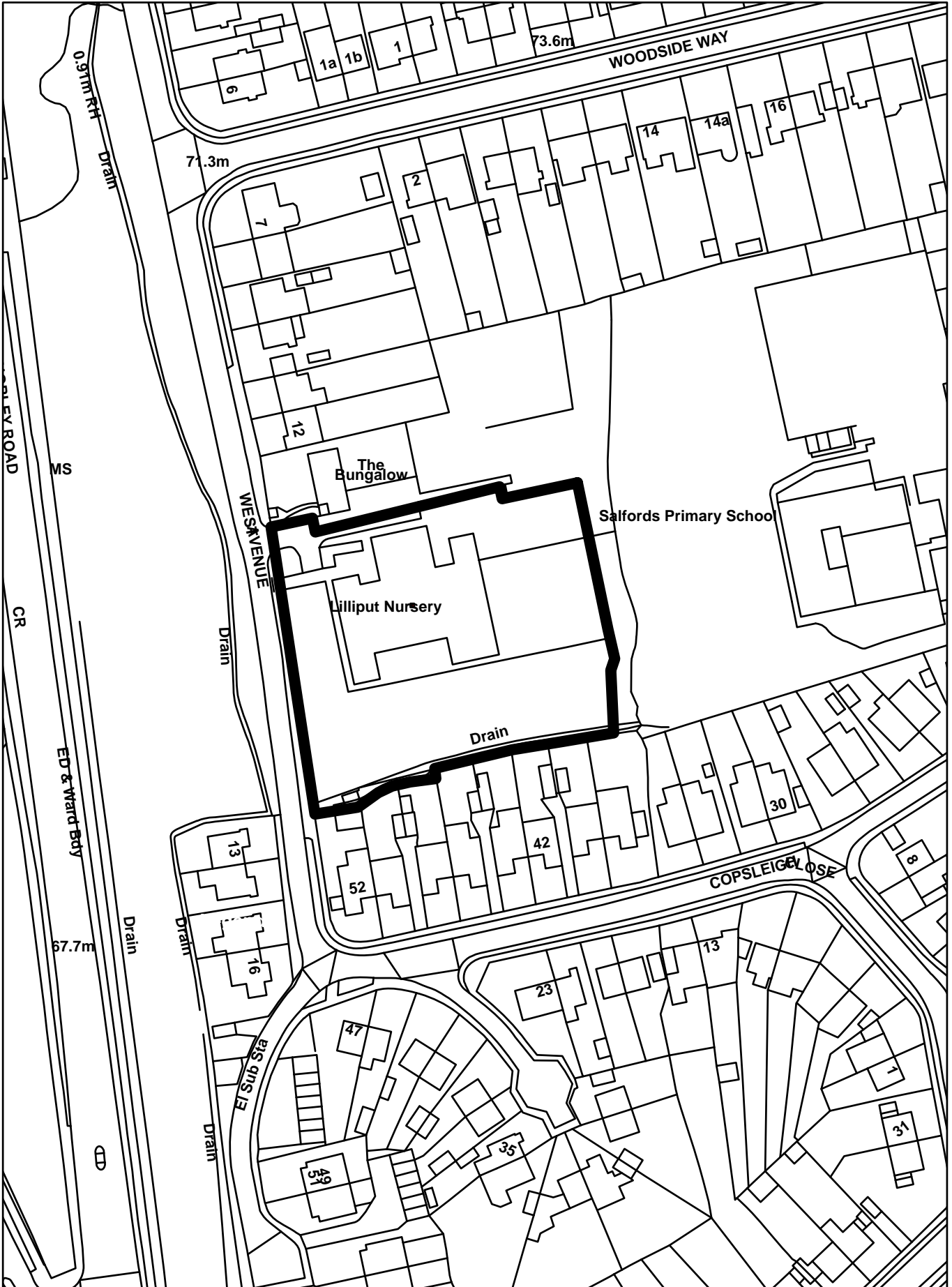
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS3, CS4, CS5, CS10, CS11, CS12, CS13, CS15, CS17, Pc2G, Pc4, Pc8, Co1, Ho9, Ho21, Mo4, Mo5, Mo6, Mo7, Mo8 and Ut4 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/01971/F - Lilliput Childrens Centre, Lilliput Nursery, West Avenue, Salfords



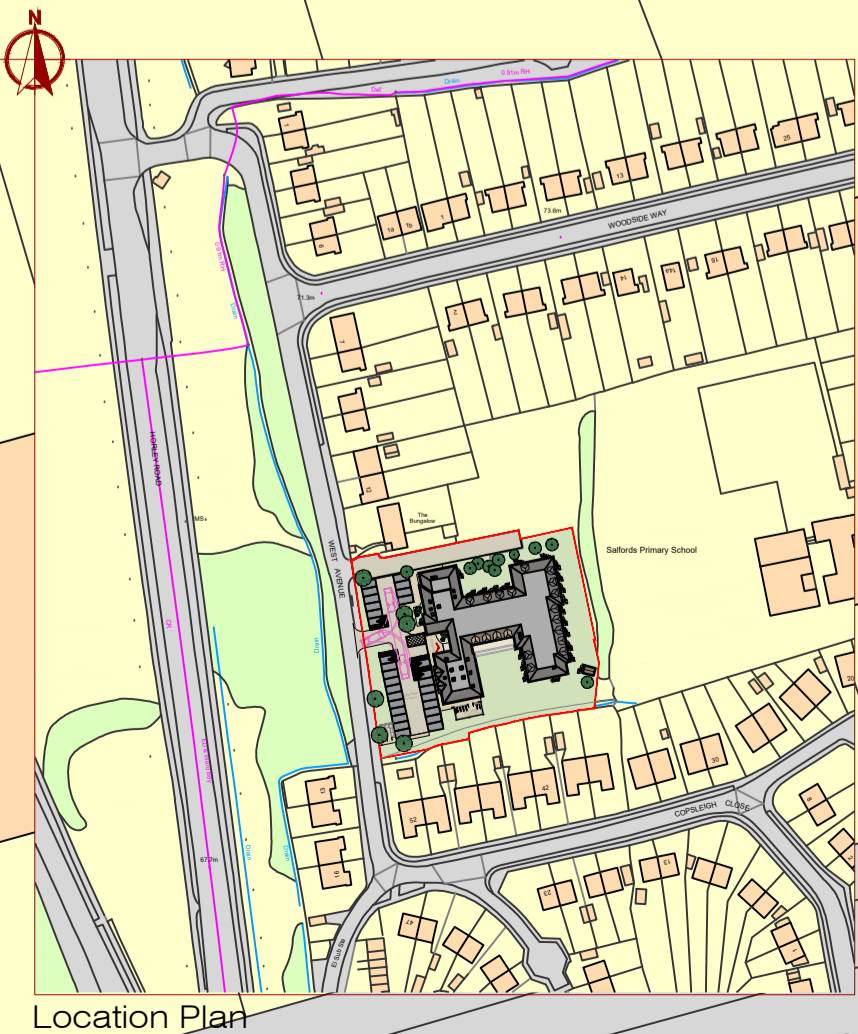
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 Check all dimensions on site before work proceeds, report any discrepancies to Architect prior to any work.
 Do Not Scale, Use figure dimensions only.
 If in Doubt Ask!

| Rev. | Alterations | Date |
|------|--|-------|
| A | REVISED SCHEME | AUG18 |
| B | Parking Spaces Resealed | OCT18 |
| C | Amendments following planning officer comments | NOV18 |

Notes:



Salfords Primary School



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 Email: home@encorecarehomes.co.uk
 Web: www.encorecarehomes.co.uk

Proposed Site Plan
 Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA
 Drawn GP Checked GP
 BY DWg No. 932-201C
 Date AUG '18 Scale: 200 ©A1

38

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If in Doubt Ask!

| Rev. | Alterations | Date |
|------|----------------|--------|
| A | REVISED SCHEME | SEP 18 |
| B | REVISED SCHEME | NOV 18 |
| | | |
| | | |
| | | |
| | | |

Notes:



Proposed Street Scene - West Avenue



Proposed Street Scene - West Avenue Looking South



Proposed Street Scene - West Avenue Looking North

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Proposed West Avenue Street Scene

Lilliput Children's Centre
West Avenue, Redhill, Surrey
RH1 5BA

Drawn by Checked

Dwg No. 932-500B

Date: Sep 18 Scale: 1:150 @A1

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| Rev. | Alterations | Date |
|------|--|--------|
| A | REVISED SCHEME | SEP'18 |
| B | Amendments following planning officer comments | NOV'18 |
| | | |
| | | |
| | | |

Notes:



Proposed Western Elevation

40



Proposed Eastern Elevation



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Proposed Western & Northern Elevations

Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA

Drawn by Checked

Dwg No. 932-400B
 Date Sep'18 Scale 1:100 @A1

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| Rev. | Alterations | Date |
|------|--|--------|
| A | REVISED SCHEME | SEP'18 |
| B | Amendments following planning officer comments | NOV'18 |
| | | |
| | | |
| | | |



Proposed Northern Elevation



Proposed Southern Elevation

Notes:



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Proposed Eastern & Southern Elevations

Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA

| | |
|------------------|-----------------------------|
| Drawn by | Checked |
| Dwg No. 932-401B | Date Sep'18 Scale 1:100 @A1 |

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If in Doubt Ask!

| Rev. | Alterations | Date |
|------|--|--------|
| A | REVISED SCHEME | SEP'18 |
| B | Amendments following planning officer comments | NOV'18 |
| | | |
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Notes:



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Proposed Ground Floor Plan

Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA

Drawn by Checked

Dwg No. 932-300B

Date Sep'18 Scale 1:100 @A1

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 If in Doubt Ask!

| Rev. | Alterations | Date |
|------|--|--------|
| A | REVISED SCHEME | SEP'18 |
| B | Amendments following planning officer comments | NOV'18 |
| | | |
| | | |
| | | |

Notes:

CEILING HEIGHT:
 - - - - - 2500mm
 - - - - - 1800mm
 - - - - - 1200mm




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Proposed Second Floor Plan

Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA

Drawn by Checked

Dwg No. 932-302B

Date Sep'18 Scale 1:100 @A1

:\Projects\932-302B - Lilliput Children's Centre, Redhill, Surrey, RH1 5BA\932-302B_Plan\932-302B_Plan_2nd Floor Plan.dwg - Proposed Floor Plans.dwg

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 Do Not Scale, Use figure dimensions only.
 If in Doubt Ask!

| Rev. | Alterations | Date |
|------|--|--------|
| A | REVISED SCHEME | SEP'18 |
| B | Amendments following planning officer comments | NOV'18 |
| | | |
| | | |
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Notes:




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Proposed First Floor Plan
 Lilliput Children's Centre
 West Avenue, Redhill, Surrey
 RH1 5BA
 Drawn by Checked
 Dwg No. 932-301B
 Date Sep'18 Scale 1:100 @A1

19/04/2018 10:01:00 - 08/09/2018 - Lilliput Children's Centre, Redhill, Surrey, P11 58422_DWG/ARCH/001_PLANNING/LIVE DRAWING/002-300-300E - Proposed Floor Plans.dwg

Agenda Item 6

Planning Committee
19th December 2018

Agenda Item: 6
18/01576/F

| | | |
|--|-------------------|------------------------------------|
|  Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate | TO: | PLANNING COMMITTEE |
| | DATE: | 19 December 2018 |
| | REPORT OF: | HEAD OF PLACES & PLANNING |
| | AUTHOR: | John Ford |
| | TELEPHONE: | 01737 276112 |
| | EMAIL: | john.ford @reigate-banstead.gov.uk |
| AGENDA ITEM: | 6 | WARD: Horley Central |

| | | | |
|--|--|---------------|------------------------------|
| APPLICATION NUMBER: | 18/01576/F | VALID: | 09/08/2018 |
| APPLICANT: | Mr M Vickers | AGENT: | WS Planning and Architecture |
| LOCATION: | 43-49 HIGH STREET, HORLEY, SURREY | | |
| DESCRIPTION: | Erection of a three storey rear extension to provide nine flats | | |
| All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail. | | | |

SUMMARY

The application site consists of 43-49 High Street, a three storey flat roofed building in Horley Town Centre. At ground floor level retail units front the High Street and six flats are provided at first and second floor levels. The flat-roofed ground floor element of the building, accommodating shop space, extends to the rear beyond the first and second floors. There is an external fire escape at the north-west corner.

This is a full application for the erection of ground floor additions for enhanced floor areas for the existing ground floor shops; and first and second floor additions to the rear of the existing building, over the flat-roofed single storey rear extension with proposed projection, culminating in a new third floor flat-roofed structure set well back from the front facade, to provide nine flats, three per floor. Flats 7-12 on the proposed floor plans have been previously approved under application no.16/01758/F. The rear elevation would be made slightly deeper than previously approved and would follow one flat facade instead of being stepped. A secure bin and bicycle store would be provided to the rear. The new additions to the scheme comprise flats 13-15 which would be located on the new third floor. The extension would be recessed from the front building line with the existing flat roof space in front of the flats being upgraded to a sedum green roof. These three flats are all dual aspect. Amenity space would be in the form of the green roof and juliet balconies.

The extension would provide 5x2 bedroom units and 4x1 bedroom units. The flats would have internal access. There would be a bin and cycle store to the north and there would be no change to the existing 12 parking spaces on the site.

The proposed extension is considered to be of a design and scale that would echo the existing buildings and those within the locality. The scale of development is such that no harm is also considered to occur to the amenity of neighbouring properties. With regards to the units themselves, these are considered to be of an adequate size and would afford an acceptable level of outlook and day light provision.

The proposed development is considered to cause no harm to the character of the area and the amenity of neighbouring properties and would be acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. No objection is therefore raised subject to conditions relating to a Construction Transport Management Plan and provision of cycle parking.

RBBC Contaminated Land Officer: No objection. Recommends a contaminated land informative.

Horley Town Council: no objection.

Representations:

Letters were sent to neighbouring properties on 24 August 2018 and site notice posted 29 August 2018. Two letters of support. Five representations have been received relating to:

| Issue | Response |
|--|------------------------------|
| Inadequate parking | See paragraphs 6.13 & 6.14 |
| No need for the development | Consideration on merits |
| Noise & disturbance | See paragraphs 6.13 & 6.14 |
| Inconvenience during construction | See paragraphs 6.13 & 6.14 |
| Overdevelopment | See paragraph 6.12 |
| Increase in traffic and congestion | See paragraphs 6.13 & 6.14 |
| Out of character with locality | See paragraphs 6.3 & 6.4 |
| Overlooking and Loss of privacy | See paragraph 6.11 & 6.12 |
| Property devaluation | Not a planning consideration |
| Overshadowing | See paragraphs 6.11 & 6.12 |
| Compatibility with adj off-airport parking | Separate matter |

1.0 Site and Character Appraisal

1.1 The application site comprises of 43-49 High Street, which is a three storey flat roofed building in Horley Town Centre. At ground floor level retail units front the High Street and six flats are provided at first and second floor level, three per floor. The ground floor retail units extend to the rear beyond the upper levels of the building and have flat roofs. To the rear of the building is a parking area, which is accessed from Lumley Road. The adjoining unit - 41 High Street - currently extends beyond the application site at three storey level.

- 1.2 The surrounding area is characterised by a mix of retail development, which is generally located at ground floor level with flats or offices above. The site is located immediately adjacent to the Gatwick Islamic Centre and there are residential dwellings relatively close in Lumley Road and Yattendon Road.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: the applicant did not approach the Council for pre-application advice therefore the opportunity to secure improvements did not arise.
- 2.2 Improvements secured during the course of the application: An additional side elevation was submitted with the application, as this was missing from the original submission.
- 2.3 Further improvements could be secured: Conditions will be applied regarding materials to ensure the extension integrates sufficiently with the existing.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|------------|--|-----------------------------|
| 3.1 | 11/00423/F | Renewal of the previously granted application 08/00130/F: demolition of buildings fronting 43-49 High Street and erection of 3 to 4 storey building comprising of retail, office and 11 x 2 bed & 8 x 1 bed residential units (total of 19 units). | Granted 25 November 2011 |
| 3.2 | 16/00276/F | Erection of third floor roof extension, 39-41 High Street & 2 Lumley Road. | Granted 31 May 2016 |
| 3.3 | 16/01758/F | Erection of rear first and second floor additions for six flats. | Granted 24 January 2017 |

4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of a three storey rear extension to accommodate nine flats, following approval of rear first and second floor additions to the existing building to accommodate six flats (to the front side). In addition there would be small rearward projections of the existing ground floor retail units resulting in a level facade in place of the staggered form: the floors above would encompass the entire roof area (including proposed rear projections) of the single storey rear extension. The approved six flats under the 2016 permission are also in this position, although in that scheme the staggered back wall of the rear single storey extension remains. By dint of the third floor flat-roofed structure, its overall height would be that of the adjoining

four storey building to the west, at nos. 39/41. External materials would match the existing apart from the rooftop extension which would be clad in zinc, echoing the similar extension at 39/41.

- 4.2 The proposal would include additional ground floor space serving the existing shops having the effect of projecting beyond and “smoothing out” the staggered wall arrangement. The third floor extension atop the building would have a flat roof design, reflecting that of the existing building.
- 4.3 Nine flats would be provided, three per floor, 5x2 bedroom units and 4x1 bedroom units. These would be to the rear of the existing six 1 bedroom flats on the first and second floors, three per floor. The flats would have internal access via a common front entrance. There would be a bin and cycle store to the north and there would be no change to the existing 12 parking spaces on the site. The flats would enjoy dual aspect and the existing roof space in front of the flats would have a green sedum top, an amenity feature for future occupiers.
- 4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.5 Evidence of the applicant’s design approach is set out below:

| | |
|-------------|--|
| Assessment | Mixed character with mainly retail units at ground floor and either residential or offices above with the railway station close by, within the urban area. |
| | No site features worthy of retention were identified. |
| Involvement | No community consultation took place. |
| Evaluation | Principle of development established with previous approved scheme for six flats. |
| Design | The design and scale of the extension, with new recessed third floor structure, would complement those of the existing building, in a highly sustainable locality. |

- 4.5 Further details of the development are as follows:

| | |
|-------------------------|-------|
| Site area | 0.5ha |
| Existing parking spaces | 12 |
| Proposed parking spaces | 12 |

| | |
|---------------------------|--------------------------------------|
| Parking standard | 9 (recommended maximum) |
| Net increase in dwellings | 9 |
| CIL contribution | nil |
| Existing site density | 12dph |
| Proposed site density | 30dph (cumulative total of 15 flats) |

5.0 Policy Context

5.1 Designation

Urban Area
Horley Town Centre

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS7 (Town/Local Centres)
CS10 (Sustainable Development)
CS11 (Sustainable Construction)
CS12 (Infrastructure Delivery)
CS14 (Housing Needs)
CS15 (Affordable Housing)

5.3 Reigate & Banstead Borough Local Plan 2005

| | |
|--------------------|-----------------------|
| Housing | Ho9, Ho9A, Ho13, Ho18 |
| Movement | Mo5, Mo7, Mo13 |
| Horley Master Plan | Hr25 |

5.4 Other Material Considerations

| | |
|-------------------------------------|---|
| National Planning Policy Framework | |
| National Planning Practice Guidance | |
| Supplementary Planning Guidance | Surrey Design Local Distinctiveness Design Guide A Parking Strategy for Surrey Parking Standards for Development |
| Other | Human Rights Act 1998 |

6.0 Assessment

- 6.1 The application site is situated in the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.
- 6.2 The main issues to consider are:
- Design appraisal
 - Neighbour amenity
 - Access and parking
 - Affordable Housing
 - CIL

Design appraisal

- 6.3 The proposed third floor addition would have a flat roofed design, which although not usually encouraged, would follow that of the existing building, in terms of zinc cladding in particular. The fenestration would also replicate that which exists on the front elevation. The overall design of the extension would be that which currently exists on the site but with a new recessed third floor structure which would not be prominent from the street. The depth of the three storey extension would reflect that at rear ground floor level (as in approved application no. 16/01758/F) but this would be acceptable in terms of bulk and scale, compared to other buildings in the locality.
- 6.4 The three storey extension would be at the rear of the building, over the entire surface of the existing single storey rear extension and its proposed projections, similar to the arrangement under application no. 16/01758/F. Although this would result in its extending beyond the adjoining property, this would not be by a significant amount, and the scale of built form is considered to be comparable with that within the locality.
- 6.5 The proposal also includes the provision of a bin and cycle store, which would be located to the north of the site, within the existing car park. No details have been submitted regarding the design of these, and as such further details of their appearance would be requested by condition.
- 6.6 With regards to the units themselves, these are considered to be of an adequate size and would afford an acceptable level of outlook and day light provision. Amenity space to serve the units would be limited but this is not uncommon for residential flats within a town centre location.
- 6.7 The proposed development is considered to cause no harm to the design or character of the locality, and would be acceptable in this regard. As such, the proposal would comply with policies Ho9, Ho9A, Ho13 and Ho18 of the local plan.

Neighbour amenity

- 6.8 The proposed development has been assessed with regards to its impact on the amenity of neighbouring properties. The application site adjoins number 41 High Street and is immediately adjacent to 51-53 High Street (Gatwick Islamic Centre, and 1 Yattendon Road.
- 6.9 The proposal would extend beyond number 41 by approximately 2.6 metres, which is such that no adverse harm would occur to this property by way of loss of light or overbearing impact. Bathroom windows are proposed on the west elevation of the extension facing no. 41, which would be obscured glazed by condition. Main habitable room windows would have a north/south aspect, looking towards the car park and High Street respectively.
- 6.10 The proposed extension would also extend beyond the Gatwick Islamic Centre. This building has an office use at ground floor level and a community use above. Although some loss of light may occur to this property, it would not be materially harmful so as to be contrary to policy.
- 6.11 Adjacent to the site, 1 Yattendon Road has been converted into five self-contained flats. Although the proposal would extend the boundary with number 1, the separation distance between the proposed extension and the existing building is such that no adverse harm would occur by way of loss of light or overbearing impact. Although the side facing windows proposed to serve a bedroom of flats 9 (first floor) and 12 (second floor) and kitchen/living area of flat 15 (third floor), would face number 1, the separation distance is such that no mutual overlooking is considered to occur between the properties.
- 6.12 The distances between the proposed development and other neighbouring properties is such that no adverse harm would occur to these properties as a result of the proposal. The proposal is considered to cause no harm to the amenity of neighbouring properties and would comply with policies Ho9 and Ho13 of the local plan.

Access and parking

- 6.13 The application site is in a town centre location and the Highway Authority observe that the development is in a sustainable location, with access to sustainable modes of transport - therefore future occupants of the site do not have to be fully reliant on car use. There are parking controls in the High Street and in surrounding roads that would prevent any overspill parking from the site from taking place in locations where it is considered dangerous. Therefore, subject to conditions being included within any permission granted, the CHA has no objection to the proposed development.
- 6.14 These suggested conditions/informatives are noted and endorsed as appropriate means of ensuring highway safety and promoting sustainable means of transport.

Affordable Housing

- 6.15 Core Strategy policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.16 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case.

CIL

- 6.17 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development.
- 6.18 This development would normally be CIL liable but the site is located within zone 1 where CIL is exempt and so no payment would be required.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason:
To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.
Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard

application forms and you should consult with us, to establish the correct type of application to be made.

| Plan Type Received | Reference | Version | Date |
|---------------------------|------------------|----------------|-------------|
| Proposed GF | 10 | | 20.07.2018 |
| Proposed FF | 11 | | 20.07.2018 |
| Proposed 2F | 12 | | 20.07.2018 |
| Proposed 3F | 13 | | 20.07.2018 |
| Prop Front EI | 14 | | 20.07.2018 |
| Prop Rear EI | 15 | | 20.07.2018 |
| Prop Side EI | 16 | | 20.07.2018 |
| Prop Side EI | 17 | | 20.07.2018 |
| Prop Secs | 18 | | 20.07.2018 |
| Prop Secs | 19 | | 20.07.2018 |
| Steel Layout | 20 | | 20.07.2018 |
| Front roof pers | 21 | | 20.07.2018 |
| Rear roof pers | 22 | | 20.07.2018 |
| Block Plan | 23 | | 20.07.2018 |
| Site Plans | 24 | | 20.07.2018 |
| Roof plan | 28 | | 09.08.2018 |
| Prop street scene | 29 | | 09.08.2018 |

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

4. Prior to the construction reaching slab level, details of materials to be used in the construction of the external surfaces, including fenestration, roof and main roof railings/fencing, must be submitted to and approved in writing by the Local Planning Authority, prior to the construction reaching slab level. Development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

5. No development shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) programme of works (including measures for traffic management)

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2018.

6. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for 12 vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking/turning areas shall be retained and maintained for their designated purpose.

Reason:

The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2018.

7. The development hereby approved shall not be first occupied unless and until the facilities have been provided in accordance with the approved plans for the secure parking of bicycles within the development site, and thereafter the said approved facilities shall be provided, retained and maintained to the satisfaction of the Local Planning Authority.

Reason:

The above condition is required in order that sustainable travel is promoted with regards Policy Mo7 of the Reigate and Banstead Borough Local Plan 2005, Policies CS10 and CS17 of the adopted Reigate and Banstead Core Strategy 2014 and Section 9 "Promoting Sustainable Transport" in the National Planning Policy Framework 2018.

8. The development hereby approved shall not be occupied until details of the refuse bin store have been submitted to and approved in writing by the Local Planning Authority, such approved store to be provided and maintained thereafter to the approval of the Local Planning Authority.

Reason:

To provide adequate waste facilities in the interests of the amenities of the locality and to encourage the recycling of domestic refuse in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.

2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive

work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

6. The application site is on or in close proximity to land that could be contaminated by virtue of previous historic uses of the site. As a result there is the potential for a degree of ground contamination to be present beneath part(s) of the site. Groundworkers should be made aware of this so suitable mitigation measures and personal protective equipment measures (if required) are put in place and used. Should significant ground contamination be identified the Local Planning Authority should be contacted promptly for further guidance.

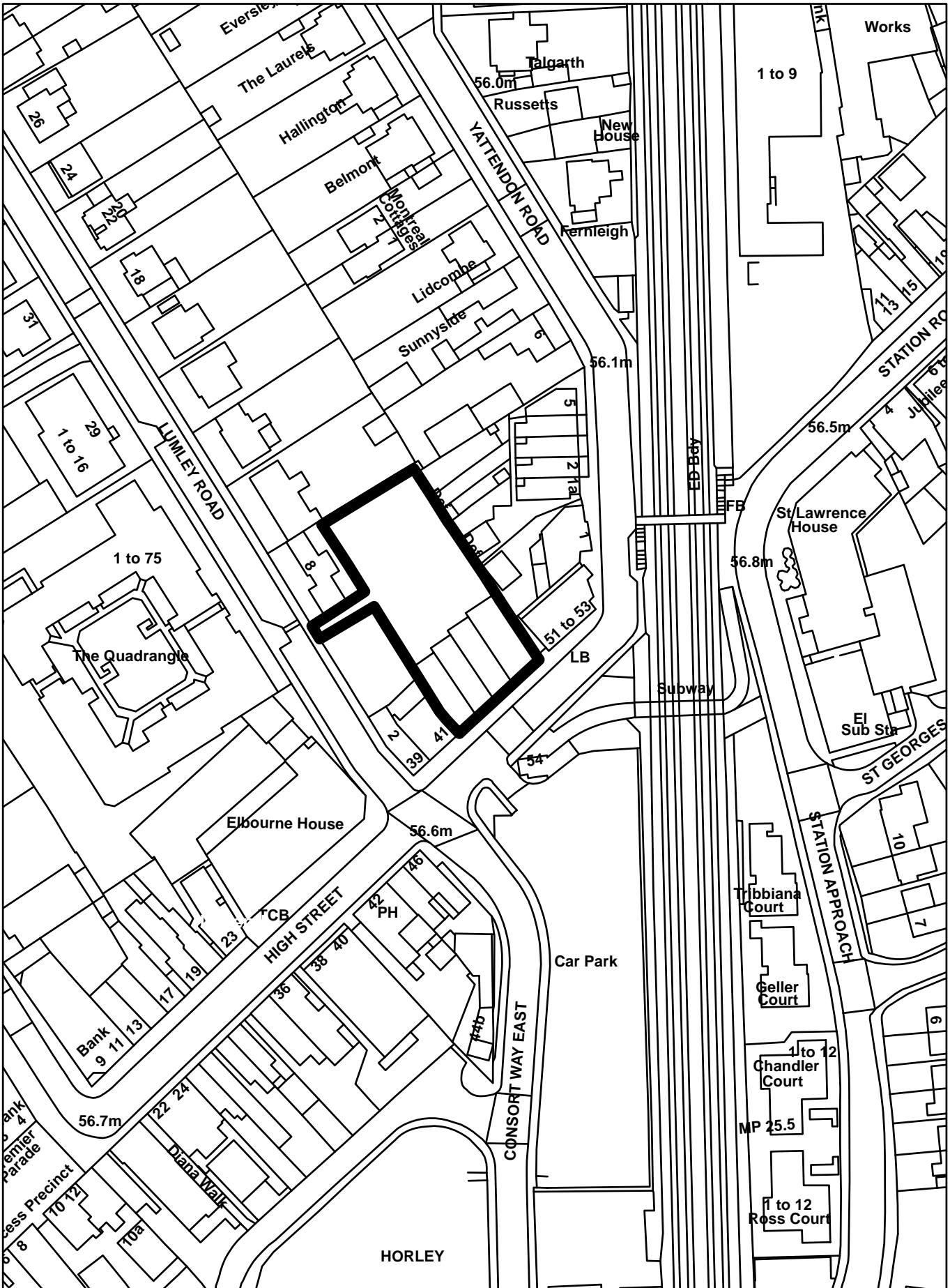
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies Ho9, Ho9A, Ho13, Ho18, Mo5, Mo7, Mo13, Hr25, CS1, CS4, CS7, CS10, CS11, CS12, CS14, CS15, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

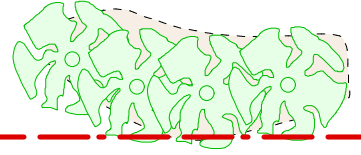
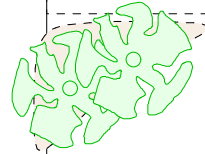
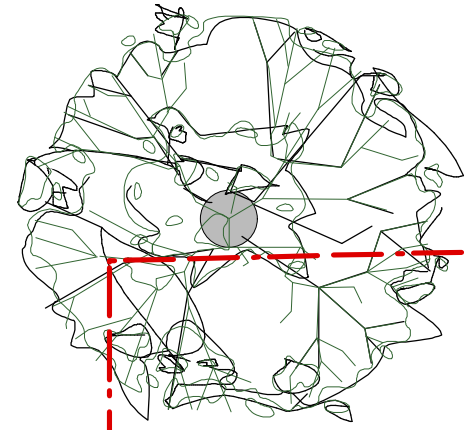
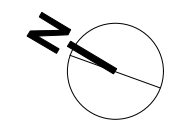
Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/01576/F - Middleton House, 43 - 49 High Street, Horley



PLANNING



HIGH STREET

LUMLEY ROAD

69

8

49 Retail (FURNISHING FLAIR)

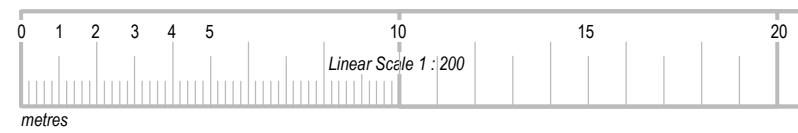
Retail (FURNISHING FLAIR)

Retail (HORLEY LAUNDERETTE)

43 Retail (HIGH STREET PETS)

Residential DARTTEL HOUSE 41

39



Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

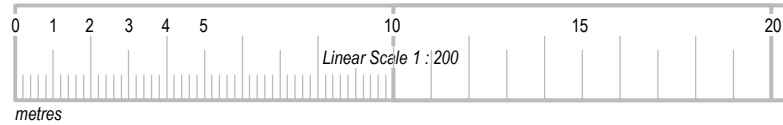
Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title BLOCK PLAN

For Mark Vickers Properties
Date June 2018

Scale @ A3 paper size 1/200
Drawing No. 23

09



Design Firm
 Roger Card Construction
 61 The Street
 Charlwood,
 Surrey, RH6 0DS

Project Title
 Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
 43-49 High Street,
 HORLEY,
 Surrey, RH6 7BN

Drawing Title
 Street View

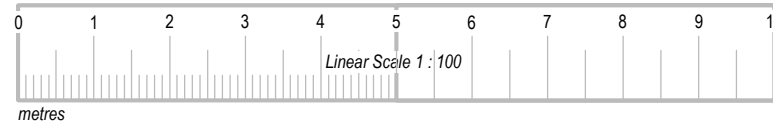
For
 Mark Vickers
 Properties
 Date
 Oct 2018

Scale
 1:200
 at A3 paper size
 Drawing No.
 29 R



FRONT PERSPECTIVE

61



Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title PROPOSED FRONT
ROOF PERSPECTIVE

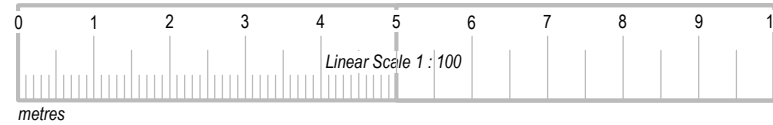
For Mark Vickers
Properties
Date Oct. 2018

Scale @ A3 paper size 1/100
Drawing No. 21R



62

REAR PERSPECTIVE



Linear Scale 1 : 100

metres

Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

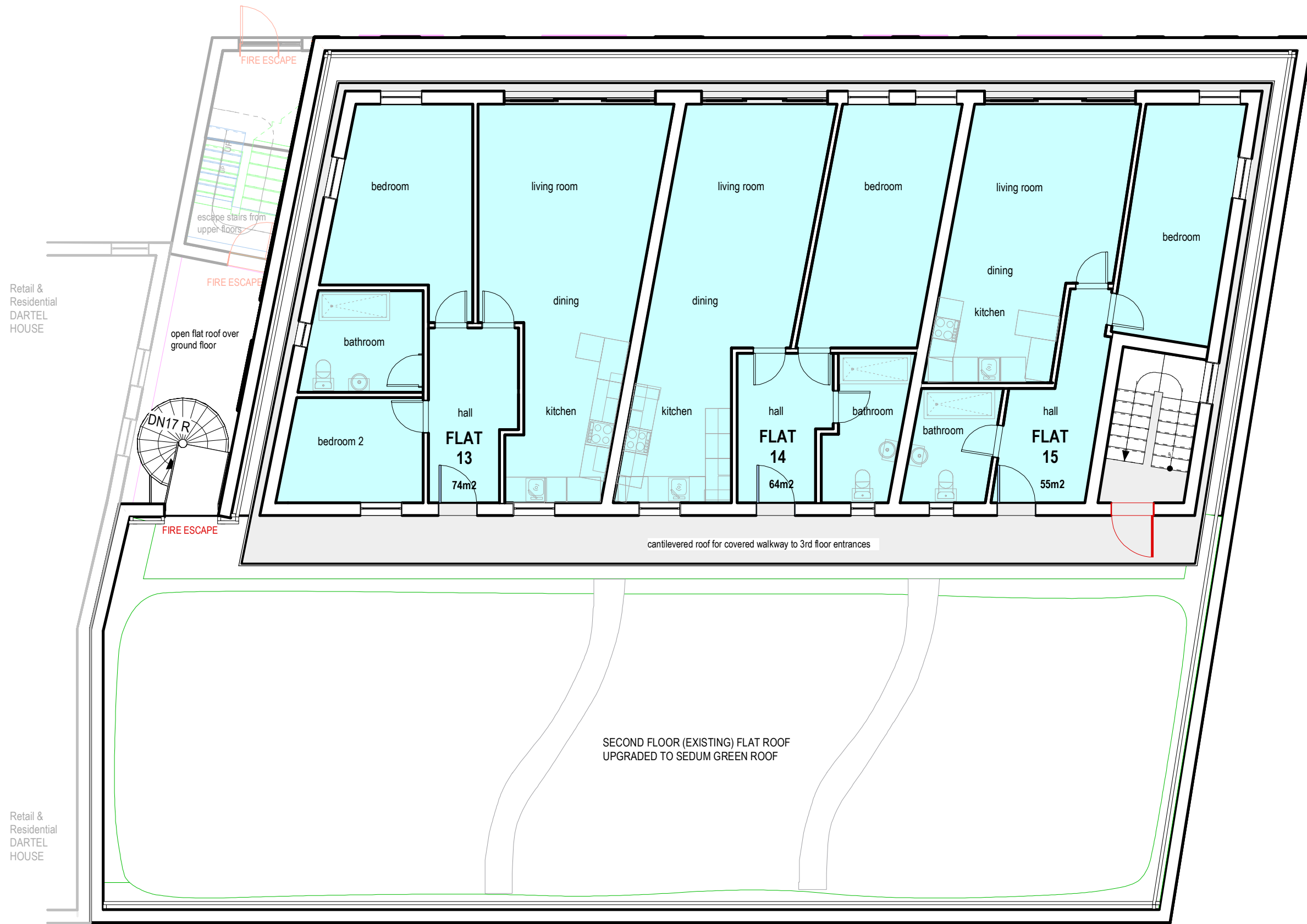
Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title **PROPOSED REAR
PERSPECTIVE**

For Mark Vickers
Properties
Date **Oct. 2018**

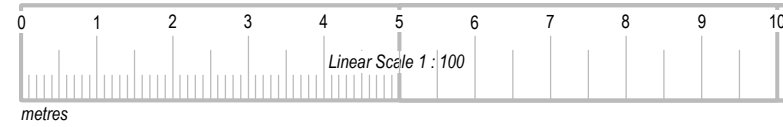
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Drawing No. **22R**



63

Retail & Residential DARTEL HOUSE

Retail & Residential DARTEL HOUSE



Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title **PROPOSED 3rd. FLOOR**

For Mark Vickers Properties
Date Nov. 2018

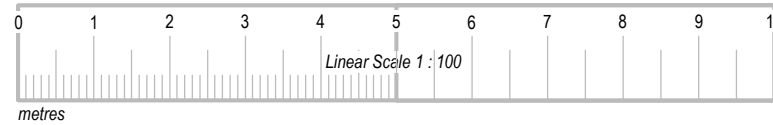
Scale @ A3 paper size 1/100
Drawing No. **13 R2**

Additional internal area of proposed third floor 207 sq. m.



64

FRONT ELEVATION



Linear Scale 1 : 100

Design Firm
Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title
Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title
**PROPOSED FRONT
ELEVATIONS**

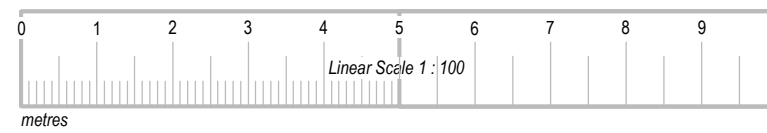
For
Mark Vickers
Properties
Date
Nov. 2018

Scale @ A3 paper size
1/100
Drawing No.
14 R2

65



REAR ELEVATION



Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

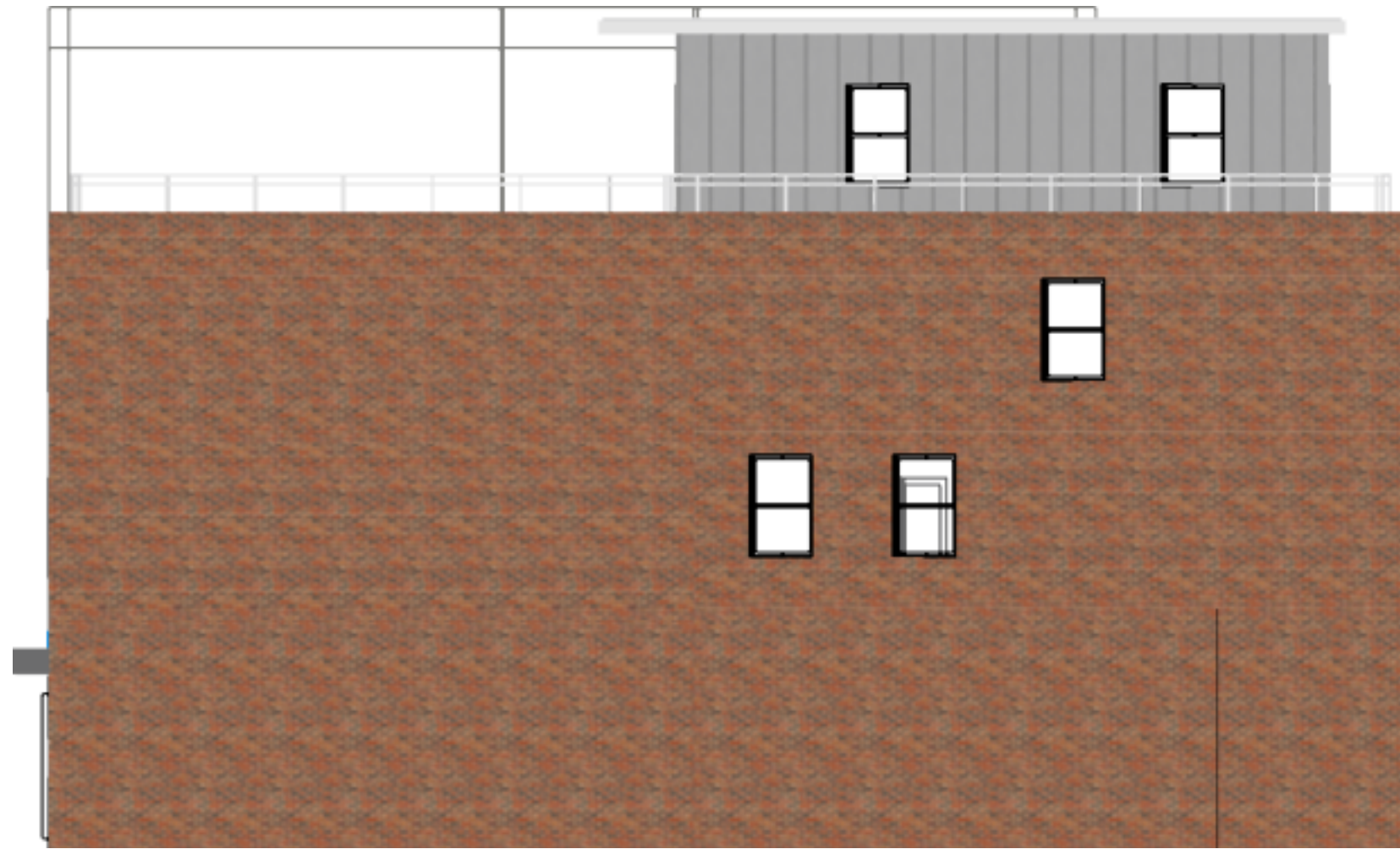
Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title PROPOSED REAR
ELEVATIONS

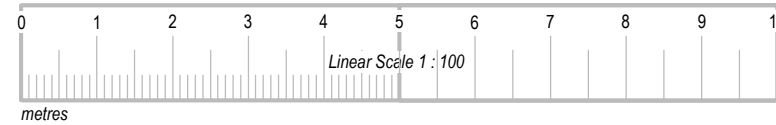
For Mark Vickers
Properties
Date Nov. 2018

Scale @ A3 paper size 1/100
Drawing No. 15 R2



SIDE ELEVATION

99



Design Firm
Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title
Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title
**PROPOSED SIDE
ELEVATION**

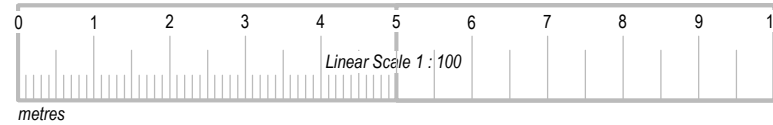
For Mark Vickers
Properties
Date **Nov. 2018**

Scale @ A3 paper size **1/100**
Drawing No. **16 R2**



SIDE ELEVATION

67



Linear Scale 1 : 100

Design Firm Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

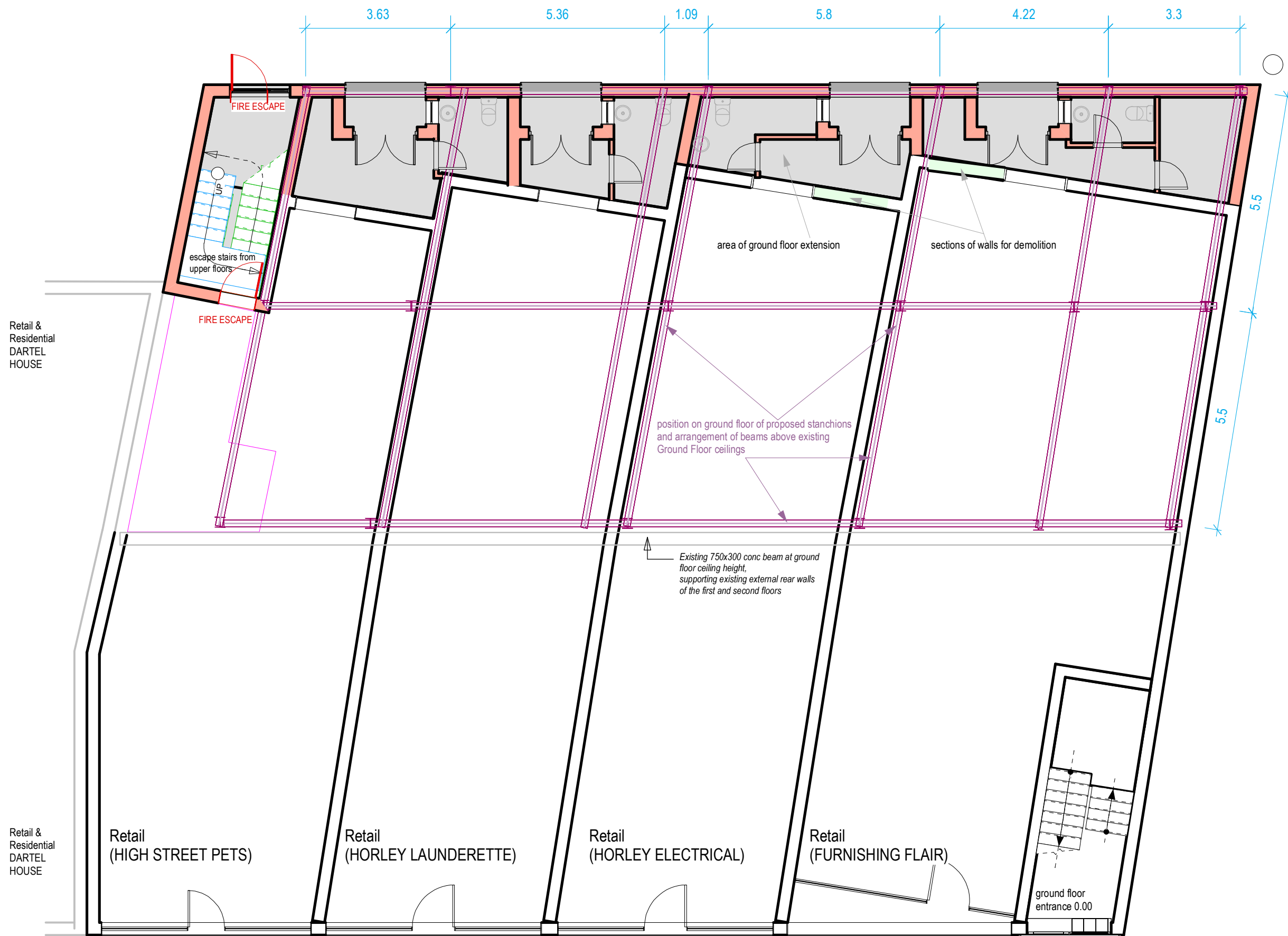
Project Title Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address 43-49 High Street,
HORLEY,
Surrey, RH6 7BN

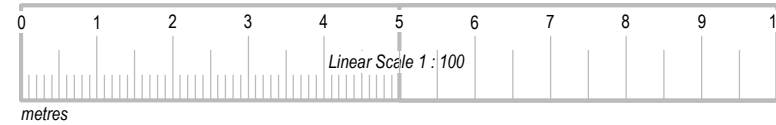
Drawing Title **PROPOSED SIDE
ELEVATION**

For Mark Vickers
Properties
Date **Nov. 2018**

Scale @ A3 paper size **1/100**
Drawing No. **17 R2**



Additional internal area of proposed ground floor 58 sq. m.



Design Firm
Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title
Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title
**PROPOSED
GROUND FLOOR**

For Mark Vickers Properties
Date **Oct. 2018**

Scale @ A3 paper size 1/100
Drawing No. **10 R**

69

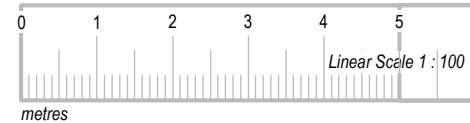


Retail & Residential DARTEL HOUSE

Retail & Residential DARTEL HOUSE



Additional internal area of proposed second floor 256 sq. m.



Design Firm
Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title
Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title

**PROPOSED
2nd. FLOOR**

For Mark Vickers
Properties
Date Oct. 2018

Scale @ A3 paper size 1/100
Drawing No. **12 R**

70

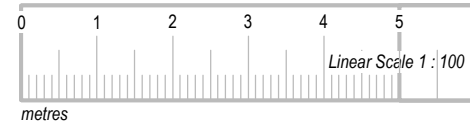


Retail & Residential
DARTEL
HOUSE

Retail & Residential
DARTEL
HOUSE



Additional internal
area of proposed
first floor
256 sq. m.



Design Firm
Roger Card Construction
61 The Street
Charlwood,
Surrey, RH6 0DS

Project Title
Proposed 3 Storey Rear Extension to Provide 9 New Flats

Site Address
43-49 High Street,
HORLEY,
Surrey, RH6 7BN

Drawing Title

**PROPOSED
FIRST FLOOR**


For Mark Vickers
Properties
Date Oct. 2018

Scale @ A3 paper size 1/100
Drawing No. **11 R**

Agenda Item 7

Planning Committee
19th December 2018

Agenda Item: 7
18/01752/F

| | | |
|--|-------------------|-------------------------------------|
|  Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate | TO: | PLANNING COMMITTEE |
| | DATE: | 19 December 2018 |
| | REPORT OF: | HEAD OF PLACES & PLANNING |
| | AUTHOR: | Rosie Baker |
| | TELEPHONE: | 01737 276173 |
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| AGENDA ITEM: | 7 | WARD: Reigate Central |

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| APPLICATION NUMBER: | 18/01752/F | VALID: | 10/09/2018 |
| APPLICANT: | Ducannon Partnership | AGENT: | Daines Alonso Architects |
| LOCATION: | LAND TO THE REAR OF 4 BEAUFORT ROAD, REIGATE, SURREY, RH2 9DJ | | |
| DESCRIPTION: | Change of use of the land, demolition of existing garage and ancillary building, and erection of 3 no. three bedroom dwellings. As amended on 25/10/2018 | | |
| All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail. | | | |

SUMMARY

This is a full application for the construction of a terrace of 3 dwellings with accommodation over two floors, the second floor being accommodated within the roof. The site comprises an existing garage site (12 garages) accessed from Beaufort Road via an unadopted private road in unknown ownership. It is understood that all but one of the garages are vacant, with one being utilised for non-vehicular storage purposes. Also on the site to the east is an existing Victorian workshop building used as a workshop / storage and office space. This building is not statutory or locally listed. The entirety of the site is hard surfaced.

There is no in principle objection to the redevelopment of the site. It is considered that the redevelopment of the site would make efficient use of land. The proposed houses are of traditional design with contemporary elements and subject to conditions regarding materials and an acceptable landscape scheme the design and layout is considered acceptable. The scale and siting of the terraced building is considered, on balance, appropriate to the site and responds appropriately to the surrounding built form. Details of boundary treatment would be subject to condition.

The relationship and distances to neighbouring properties would prevent harmful impacts to residential amenity. Whilst the development would result in a change in building relationships, the proposal would not, on balance, give rise to material harm with regards to loss of light or privacy, overshadowing, overlooking, overbearing or loss of outlook that would be contrary to policy in this regard.

There are no onsite trees, however there are a number of off-site trees close to the boundary of the application site. The tree officer has assessed the application and the submitted arboricultural information and has confirmed that subject to condition the development would have an acceptable impact on trees.

Concern has been raised by residents regarding the use of the shared private access drive. There is no objection to the use of this drive by the development both for access and manoeuvring and it is noted that ownership is not a planning matter. Whilst the drive is constrained in its dimensions and utilised by other users, the baseline traffic generation position that the application has to be considered against is that the site has historically and could continue to be used by 12 garages. The highway impacts of the development have been assessed by the County Highway Authority and considering the above position are deemed acceptable. Parking provision conforms with adopted standards and a construction method statement is proposed to be conditioned.

In light of the above the application is recommended for approval.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions

RBBC Tree Officer: No objection subject to conditions

RBBC Neighbourhood Services: No objection. Residents of individual properties must present their containers adjacent to the highway (at the front on Beaufort Road) for collection. An informative is added such that the applicant checks with the Council the number and type of recycling and refuse bins that are required to be supplied by the developer.

Environmental Health (Contaminated Land): There is some potential for contamination to be present associated with the existing buildings on site and historic garage use as such a condition to deal with contaminated land and an informative to provide additional guidance is recommended. Given the historic age of the building a condition in relation to asbestos is also added.

Beaufort Road Residents Association – Two representations made. Principle of residential use accepted but objection on grounds of: Overlooking and loss of privacy to residents of Beaufort Road, South Albert Road and Nutley Lane (nos 73 – 91); single storey extensions of 6 Beaufort Road and 6 South Albert Road not shown on plans; lack of clarity regarding boundary treatments; inadequate parking, loading and turning provision for existing and future residents; conflict with parking space owned by 4b Beaufort Road; concerns regarding bin store; introduction of unnecessary walkway to access road which will narrow access further; highway safety concern in relation to existing access, increase in traffic and congestion will exacerbate existing parking and highway issues; overshadowing and loss of light to maisonettes at 4 Beaufort Road, 6 Beaufort Road, 6 and 8 South Albert Road; loss of visual amenity to neighbouring properties; increased burden on local services (schools, doctors, dentists); inconvenience during construction; noise and disturbance post completion; overdevelopment; loss of building, and; alternative proposal preferred.

Representations:

Letters were sent to neighbouring properties on 11 September 2018 a site notice was posted 4 October. Neighbours were re-notified on the revised plans on 30 October 2018.

43 responses have been received raising the following issues, (it is noted a number of residents made multiple submissions responding to the consultation process reiterating their concerns):

Issue

Response

Inadequate parking, turning, loading space

See paragraph 6.22 – 6.27

Increase in traffic and congestion / exacerbation of existing parking and highway issues

See paragraph 6.22 – 6.27

Hazard to highway safety / highway safety concern in relation to existing access

See paragraph 6.22 – 6.27

Conflict with a covenant / Ownership matters. Use of and works to unadopted shared access drive in unknown ownership

Ownership is not a material planning consideration. In this case the applicant has, as required, completed the ownership certificate (certificate D). There is no objection in principle to the use of or works to the shared access road identified within the red line on the application drawings.

Certainty sought that residents of Nutley Lane who have access and parking rights for the access road can continue to reverse turn into the new development entrance to avoid backing out onto Beaufort Road when leaving or backing into the access road when arriving.

Ownership is a private matter and not a material planning consideration.

Clarity as to responsibility for repairs to private road

The road is in private ownership, this therefore is a private matter.

Introduction of walkway to access road would narrow access further

Amended plans have been received removing walkway.

Inconvenience during construction

See paragraph 6.19

Harm to Conservation Area

The site is not located within a conservation area. It is noted that it is proximate to a conservation area boundary with parts of Beaufort Road and Nutley Lane falling within a conservation area.

Poor design, Out of character with surrounding area

See paragraph 6.5 – 6.10

No need for the development /

Each application must be

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| Alternative location or proposal preferred | assessed on its own merits |
| Overdevelopment | See paragraph 6.5 – 6.10 |
| Loss of building of heritage interest | The building is not statutory or locally listed and therefore there is no objection to its loss |
| Noise & disturbance | See paragraph 6.15 – 6.21 |
| Loss of light, overlooking and loss of privacy | See paragraph 6.15 – 6.21 |
| Separation distances are less than the adopted standard of 22m | The Council does not have an adopted standard with respect to building separation distances, each application must be assessed on its own merits. |
| Overbearing relationship, impact to outlook | See paragraph 6.15 – 6.21 |
| Health fears - proximity of car parking and associated noise / exhaust fumes | See paragraph 6.15 – 6.21 |
| Unsatisfactory refuse provision | See paragraph 6.10 |
| Loss of / harm to trees / concern regarding proposed tree works and landscape scheme | See paragraph 6.11 – 6.14 |
| Drainage / sewerage | See paragraph 6.20 |
| Single storey extensions of 6 Beaufort Road and 6 South Albert Road not shown on plans | The submitted plans are based on Ordinance Survey base mapping. I undertook site visits of these properties and my assessment of the application is based on that knowledge |
| Lack of clarity regarding boundary treatments. Request that specification of brick be agreed with neighbours prior to construction of any replacement boundary wall. | The applicant has submitted additional drawings to clarify this matter. Materials would be conditioned. |
| Increased burden on local services (schools, doctors, dentists) | See paragraph 6.30 – 6.32 |
| Conflict with parking space owned by 4b Beaufort Road, | Whilst ownership is not a planning matter the applicant has submitted details of his ownership and evidence to demonstrate access to this parking space is gained by the |

resident of No.4b across the applicant's land, being permitted on an informal basis. There is an understanding that this is not a right of access. The proposal has been revised and the applicant has confirmed the arrangement to facilitate parking for 4b will continue. It is noted that the revised boundary treatment proposed does not alter existing land ownership.

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| Property devaluation | This is not a material planning consideration |
| Loss of private view | This is not a material planning consideration |
| Support – residential use in principle | |

1.0 Site and Character Appraisal

- 1.1 The site comprises an existing garage site (12 garages) accessed from Beaufort Road. It is understood that all but one of the garages are vacant, with one being utilised for non-vehicular storage purposes. Also on the site to the east is an existing Victorian workshop building used as a workshop / storage and office space. This building is not statutory or locally listed. The entirety of the site is hard surfaced.
- 1.2 The rear and flank brick walls of the garages form the existing boundary treatment to the west. To the north there is a tall brick wall along the boundary and the flank wall of the existing storage building which continues along the eastern boundary. To the south there is a combination of the garage wall and fence panels.
- 1.3 There are no trees on the site, however it has been established from my site visits of neighbouring properties that there are a number of offsite trees proximate to the application site. The application site increases in level from Beaufort Road to the south to the properties in South Albert Road to the north. The changes in level onsite are relatively small, however there is a significant change in level between the application site and the rear gardens of the properties in South Albert Road.
- 1.4 The application site is accessed from Beaufort Road via a shared unadopted private access road in unknown ownership. The access road is relatively narrow and utilised by adjacent residential development to the east in Nutley Road, a number of whom it is understood have established rights to access and park on the access drive. No 4b Beaufort Road also utilises a parking

space to the rear of their property accessed via the shared access. The parking which primarily takes place on the eastern side of the access road and to the rear of development in Nutley Road has the effect of narrowing the access road such that traffic can only pass in one direction.

- 1.5 The site is located outside of but proximate to a conservation area. It is surrounded by residential development and overlooked by neighbouring buildings, primarily Victorian residential dwellings, a number of which have been extended with private gardens backing on to the site. It is noted no 4 Beaufort Road forms four maisonette properties.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council. Advice was provided regarding the principle of the proposal, and matters of detailed design, including with respect to scale, mass, built form and concerns in relation to overdevelopment, unsatisfactory parking layout and neighbour amenity. Highway matters are for Surrey County Council to assess as the County Highway Authority. A revised layout, elevational design and reduction in the number of units were achieved together with matters of detail.

- 2.2 Improvements secured during the course of the application: The application was amended to:

- provide clarification regarding boundary treatments,
- provide tree survey and arboricultural input in relation to off-site trees
- provide clarification regarding ownership matters and a revised arrangement to enable the owner of 4b to continue to access their parking space (albeit that this is through an informal arrangement with the applicant to allow access by the neighbour across the applicant's land)
- remove the footway originally proposed to the western side of the shared access road
- Introduce a physical bin store and improved landscape arrangements to mitigate the impact of the proposed refuse arrangements
- Provide clarification on the current use of the existing garages
- Show the first floor dressing room window to unit 3 (adjacent to 6 Beaufort Road) in the southern elevation as opaque glazed and fixed shut except for a top opening fan light to overcome significant overlooking and loss of privacy concerns.
- Move the car parking bays for unit 3 to the east, enabling additional planting to be introduced to the rear of the car parking spaces between the bays and the western boundary
- Removal of the passage (for security reasons) to the rear of unit 1

- 2.3 Further improvements could be secured through the use of conditions.

3.0 Relevant Planning and Enforcement History

3.1 There is no relevant planning history on file.

4.0 Proposal and Design Approach

4.1 This is a full planning application for the demolition of the existing buildings on site (garages and existing Victorian storage/office building) and the change of use of the land and erection of 3 x 3 bedroom dwellings on the site. In addition the proposal seeks to improve the existing access to the site with the introduction of a wider bellmouth. (Proposals to introduce a pedestrian footway to the western side of the shared access road have been withdrawn.)

4.2 The proposed building is arranged as a row of terraced housing along an east-west axis, located approximately centrally on the site. The proposed building is two storeys with the second storey of accommodation located partly within the roof. The building is of traditional design and composition with gable projections and some contemporary detailing, for example the introduction of bifold doors to the rear. Traditional materials are proposed. The site frontage would be laid out to provide a total of 6 surface car parking spaces, alongside landscape planting and an enclosed refuse store. Private gardens are provided to the rear.

4.3 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.

4.4 Evidence of the applicant's design approach is set out below:

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| Assessment | The character of the surrounding area is assessed as a mix of two and three storey primarily residential and commercial buildings. |
| | No site features worthy of retention were identified. |
| Involvement | No community consultation took place. |
| Evaluation | The statement explains how the scheme has evolved. The other development options considered were a scheme of 7 no two bedroom mews houses arranged in a terrace formation along the eastern boundary, and a scheme of 4 no. three bedroom townhouses located centrally within the site along an east-west axis. A further iteration was a detached property and a pair of semi- |

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| | detached properties. |
| Design | The applicant's reasons for choosing the proposal from the available options were that it is considered to reflect the scale and character of the surrounding Victorian residential properties and responds to officer pre-application advice. |

4.5 Further details of the development are as follows:

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| Site area | 853 sqm |
| Existing use | Garages and store / office building |
| Proposed use | Residential |
| Existing parking spaces | 12 garages together with informal parking for commercial building |
| Proposed parking spaces | 6 |
| Parking standard | 6 (maximum) |
| Number of affordable units | 0 |
| Net increase in dwellings | 3 |
| Proposed site density | 46 dph |
| Density of the surrounding area | 38.3 dph (4 – 18 South Albert Road – even nos only) 58.2 dph (75-97 Nutley Lane – odd nos only) 59.7 dph (4 (A – D), 6 & 8 Beaufort Road) |

5.0 Policy Context

5.1 Designation

Urban
Proximate to Reigate Town Centre Conservation Area

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS13 (Housing Delivery)
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate & Banstead Borough Local Plan 2005

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|---------------------------------|------------------|
| Landscape & Nature Conservation | Pc4 |
| Housing | Ho9, Ho13, Ho16, |
| Employment | Em1A |
| Movement | Mo5, Mo7 |

5.4 Other Material Considerations

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|-------------------------------------|---|
| National Planning Policy Framework | |
| National Planning Practice Guidance | |
| Supplementary Planning Guidance | Surrey Design Local Distinctiveness Design Guide A Parking Strategy for Surrey Parking Standards for Development Affordable Housing |
| Other | Human Rights Act 1998 Community Infrastructure Levy Regulations 2010 |

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. There is no objection in principle to a potential redevelopment of the site and such a redevelopment would help the Council meet some of the Borough's identified housing need and furthermore would be welcomed as a contribution to housing supply. However, the principle of acceptability in this case rests upon considering the impact of the proposal and resultant harm and the need to provide additional housing and its resultant benefit. The following report sets out the key considerations.

6.2 Until such time as the applicant has submitted a certificate of lawfulness to demonstrate the site's existing use is B1 and not B8 with ancillary office use I do not give weight to a permitted development fallback position in regards to office to residential use. It should be noted that this permitted development would be subject to a prior approval process, the outcome of which is currently unknown.

6.3 The main issues to consider are:

- Loss of employment land
- Design appraisal
- Neighbour amenity
- Highway matters

- Affordable Housing
- Community Infrastructure Levy
- Infrastructure contributions

Loss of employment land

- 6.4 Policy Em1a of the Local Plan resists the loss of existing suitably located business, industrial and storage and distribution uses within the urban area outside the areas defined for employment purposes. In this case the existing commercial unit is not considered to be suitably located being sited within a residential area where the demands of an employment site can conflict with the higher amenity standards expected within an otherwise residential environment. There is therefore no objection to the loss of employment land.

Design appraisal

- 6.5 The development proposes 2 storeys of accommodation with the second floor set into the roof to minimise the scale of the new buildings. The properties follow a similar domestic scale and massing as the existing two and two and a half storey houses in the immediate surroundings, which are of similar style, with a variety of traditional pitched roof and gabled forms. There is therefore no objection to the scale of the development proposed or to the density which is considered reflective of the local area.
- 6.6 Arranged as a row of terraced housing the architect states the proposal is a 'quiet take on the Victorian terraces houses common in Reigate'. Whilst the immediate context of Beaufort Road and South Albert Road is dominated predominantly by detached and semi-detached forms the terraced form proposed is not considered out of character given its presence within the wider locality, particularly along Nutley Lane proximate to the development site. There is therefore no objection to the terraced form.
- 6.7 The architectural design is considered appropriate to the site and reflects the character of the area, being traditional in appearance with some contemporary detailing. The gable end of the western house is rotated to provide variation to the ridgeline and front elevation whilst breaking up the silhouette of the terrace. Whilst there has been objection to this design form it is considered an improvement to a straight terrace with gable ends, both in terms of delivering an improved design as it delivers architectural variation and as it has the advantage of drawing the roof form away from the boundary with 6 Beaufort Road. I do not consider the additional height as a result of the introduction of the gable outweighs the advantages of this design approach. Conditions are proposed to restrict permitted development in order to provide control on future extensions.
- 6.8 The proposal is considered appropriated sited on the plot, with the terrace located approximately centrally, approximately 28m building to building between houses in South Albert Road to the north and approximately 21.6m to the maisonettes at 4 Beaufort Road to the south. 10m rear gardens are provided for future occupiers providing acceptable provision of private

amenity space and the front of the site has been arranged such that it is not dominated by car parking but is broken up with areas of soft landscaping particularly to the frontage of the western plot. The balance between hard and soft landscaping is therefore considered acceptable balancing the needs for parking and turning against retaining an appropriate setting for the development. A condition to secure an acceptable landscape scheme is proposed. Moving the development further north would result in reduction in garden space for future occupiers whilst moving the development further south would restrict the space available for vehicle movements. I am satisfied that the siting arrangement proposed by the applicant represents an acceptable arrangement.

- 6.9 The applicant has submitted revised plans to clarify boundary treatment proposals (drawing DA171121 015). The wall to the north is to be retained and made good where necessary. It is also proposed to retain the brick wall to the east and made good where needed, if the stretch is structurally unsound following removal of the garages it is proposed to replace it, with the stretch proximate to 6 Beaufort Road in brick to match existing. A condition is proposed to control boundary treatment and details of any replacement wall or fence will require approval by the Local Planning Authority. Any replacement boundary treatment should be of the same height as existing.
- 6.10 A bin store is provided within the scheme and a suitable landscape scheme would be required by condition. Whilst the siting of the bin store is considered acceptable the alternative would be for each dwelling to store their own bins within their rear gardens / site frontage – this is considered equally acceptable from a planning perspective. As set out by the Council's neighbourhood services team in their consultation response, in light of the constrained access, individual residents would be responsible for taking their bins to the adopted highway kerbside for collection. A condition requiring details of bin storage is proposed.

Impact on trees

- 6.11 There are no trees on site however there are a number of off-site trees proximate to the site boundary. The application has been supported by a detailed Arboricultural Implications Report compiled by Simon Jones and Associates. The arboricultural information supplied is of sufficient detail to make an informed and balanced judgment on the arboricultural and landscape issues.
- 6.12 The tree officer was consulted on the application and responded as follows:

“There are no significant trees of value that would suffer any long lasting impact or adverse affects from the proposed development. The trees subject to the tree survey are all located off site and have been assessed adopting the criteria and methodology set out within section 4 and table 1 of British Standard 5837 Trees in relation to design. Demolition and construction – Recommendations, all trees within the survey are of the lower category and have been categorised C.

To facilitate pruning the trees detailed within the report would require pruning involving the removal of overhanging branches and crown lifting in respect of tree numbers T5 and T6.

The root protection areas of the trees located off site have been calculated and the proposal would not result in any incursions into these areas, however, existing surfaces and structures are within root protection areas (RPAS) and the breaking out of these surfaces within the demolition phase should be supervised by the retained arboricultural consultant; these provisions are made within the submitted arboricultural information. The Tree Protection Plan provides details on the location of tree protection barriers and the methods that will be adopted to ensure that damage to the rooting environments of the off-site trees is protected. The report also states that a pre start meeting will be required and set out the levels and attendance in respect of the qualified arboricultural supervision and monitoring.

The proposal in respect of the arboricultural matters is considered to be acceptable subject to the tree protection measures, arboricultural supervision and monitoring being strictly adhered to as set out in the arboricultural report. I would recommend that a compliance condition is imposed in respect of the arboricultural matters.”

- 6.13 In light of the above and subject to condition the proposal is considered to comply with policy Pc4 of the Local Plan.
- 6.14 The applicant’s attention is drawn to representations regarding boundary walls and offsite trees. An informative is added with respect to the Party Wall Act. Works to off-site trees is a private matter between individuals.

Neighbour amenity

- 6.15 The Councils adopted policies require each application to be assessed on a case by case basis and this includes separation distances. Separation distances (wall to wall) are provided below and are considered acceptable noting the closest relationship is between the western dwelling and 6 Beaufort Road.

6 Beaufort Road: 18m as shown on applicant’s plans but correct position is approximately 14m. (Property has an approx 4m single storey extension to the rear not shown on the applicant’s plans)

Maisonettes at 4 Beaufort Road: 21.8m

6 South Albert Road: 28.5m as shown on applicant’s plans but correct position is approx 24m (Property has a conservatory extension)

8 South Albert Road: Approx 28m.

Properties in Nutley Lane: 17 – 29m

- 6.16 Due to the separation distances, design, siting and aspect between the dwellings proposed and neighbouring properties, no harmful loss of privacy or

light would occur and the proposed dwellings would be sufficiently distanced from neighbouring properties as to not result in harmful overbearing presence or unacceptable overshadowing. The closest relationship is with 6 Beaufort Road however this is an oblique relationship and as such the impact is diminished. Whilst the development will result in a change in the relationship between properties resulting in a level of greater presence, overlooking and change in outlook the impact would not be sufficient in my view to justify a refusal in this case. The window to window relationship will be different to that currently experienced but I do not consider the relationship more harmful to others within the locality where existing residential back gardens are overlooked from rear first floor windows of neighbouring properties in this urban environment. This view takes account of the change in levels on the site, noting particularly that the rear gardens of properties in South Albert Road are set at a higher level than the development site.

- 6.17 First floor bathroom windows can be conditioned to be obscure glazed and fixed shut except for a top hung fan light. No other windows at first floor are proposed in the building flanks. The first floor dressing room window in the western dwelling is proposed also to be obscure glazed to mitigate impact on 6 Beaufort Road. In light of the separation distances the first floor bedroom windows to the rear and front are not considered to give rise to amenity harm to existing residents. Future residents would be aware of the building relationships and level of overlooking to rear gardens prior to purchase and as such I consider the level of harm limited. In light of the above the development would not result in a harmful loss of privacy to neighbouring properties.
- 6.18 Living standards: The proposed dwellings in terms of their layout, size, accessibility and access to facilities is considered acceptable. The proposed dwellings have an acceptable floor space and the units would have access to private amenity space. When judged from a living standard perspective the proposal is considered acceptable.
- 6.19 Noise and disturbance resulting from the development when completed would be acceptable and accord with normal residential environments whilst any resulting from construction would be temporary. Objection was raised on the grounds of inconvenience during the construction period. Whilst it is acknowledged there may be a degree of disruption during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant disturbance caused during the construction of the proposal. A construction method statement would be secured by planning condition.
- 6.20 Objections have been received due to the loss of private views, ownership matters and conflict with covenant but these are not material planning considerations. Concern has been raised from neighbouring properties regarding health fears, flooding and drainage/sewage. The proposal would result in the redevelopment of rear gardens, new boundary treatment is proposed and the development is not considered to cause health issues associated with the proposed vehicle parking arrangements and associated

noise / exhaust fumes. The site is not located within a flood zone and sewage capacity would be assessed at building control stage. The proposal is considered to have a satisfactory impact with regards flooding and drainage/sewerage capacity. It is noted a condition could be applied to a grant of permission to ensure that sustainable drainage is present on the site and an appropriate surface water drainage scheme implemented

- 6.21 While giving rise to a degree of change in the relationship between buildings, the proposed scheme would not adversely affect the amenity of neighbouring properties, and complies with policy Ho9, Ho13 and Ho14 in this regard.

Highway matters

- 6.22 The existing access via a shared unadopted private access road in unknown ownership would be retained but improved with the introduction of a wider bellmouth. Proposals to introduce a pedestrian footway to the western side of the shared access road have been withdrawn. A total of 6 parking spaces are proposed.
- 6.23 The access road is relatively narrow and utilised by adjacent residential development to the east in Nutley Road, a number of whom it is understood have established rights to access and park on the access drive. The parking which primarily takes place on the eastern side of the access road and to the rear of development in Nutley Road has the effect of narrowing the access road such that traffic can only pass in one direction.
- 6.24 No 4b Beaufort Road also utilises a parking space to the rear of their property accessed via the shared access and across the applicant's land, being permitted on an informal basis. There is an understanding that this is not a right of access. The proposed plans been revised and the applicant has confirmed as a gesture of good will the arrangement to facilitate parking for 4b will continue. (It is noted that the revised boundary treatment proposed does not alter existing land ownership.)
- 6.25 Concern has been raised by residents regarding the use of the shared private access drive. There is no objection to the use of this drive by the development both for access and manoeuvring and it is noted that ownership is not a planning matter.
- 6.26 The County Highway Authority having considered local representations has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision. Parking provision accords with adopted standards and on this basis is considered acceptable. The CHA note that there are currently 12 garages onsite. Considering the amount of trips that would be generated by 12 garages were they in full use the proposed development (with 6 car spaces) is likely to lead to a reduction in trip generation when considered against this baseline. The CHA is therefore satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway subject to conditions

relating to the access, parking and the requirement for a construction transport management plan.

- 6.27 There is therefore no objection to the scheme from a highway perspective and the proposal is considered to accord with the provisions of the NPPF, Core Strategy policy CS17 and Local Plan policies Mo5 and Mo7 in this respect.

Affordable Housing

- 6.28 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.29 In view of this, and the publication of the 2018 NPPF which clarifies the policy position on residential development of 9 units or less, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 9 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case.

Community Infrastructure Levy (CIL)

- 6.30 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and, although the exact amount would be determined and collected after the grant of planning permission.

Infrastructure Contributions

- 6.31 The Community Infrastructure Levy (CIL) Regulations were introduced in April 2010 which state that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development.
- 6.32 As such only contributions that are directly required as a consequence of development can be requested and such requests must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on. It is therefore the responsibility of the service providers to demonstrate the infrastructure needs directly resulting from a development and make requests for such to the Local Planning Authority. In

this case, none of the service providers have been able to demonstrate the impact on infrastructure that this specific development would have. Accordingly, any request for an infrastructure contribution would be contrary to CIL Regulation 122.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

| Plan Type | Reference | Version | Date Received |
|------------------|------------------|----------------|----------------------|
| Block Plan | 002 | C | 25.10.2018 |
| Site Layout Plan | 015 | | 25.10.2018 |
| Floor Plan | 013 | C | 25.10.2018 |
| Elevation Plan | 014 | B | 25.10.2018 |
| Location Plan | 001 | A | 15.08.2018 |
| Proposed Plans | UNNUMBERED | | 15.08.2018 |
| Elevation Plan | 004 | | 31.08.2018 |
| Site Layout Plan | 003 | B | 31.08.2018 |
| Elevation Plan | 005 | | 10.09.2018 |

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

4. No development shall take place above slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

5. No development shall commence including groundworks preparation and demolition until all related arboricultural matters including tree protection measures, pre-commencement meeting, arboricultural supervision and monitoring are implemented in accordance with the approved details contained in the Arboricultural Implications Report dated October 2018 and the Tree Protection Plan Ref: SJA TPP 00647-01 dated 24th October 2018 compiled by Simon Jones Associates.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan

Informative:

The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837

6. No development above slab level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme and installed prior to occupation or within the first planting season following completion of the development hereby approved.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Ho9 of the Reigate and Banstead Borough Local Plan 2005 and relevant British Standards including BS8545:2014.

Informative:

The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality and have a strong native influence. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.

7. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

8. No part of the development hereby approved shall be first occupied unless and until the proposed bellmouth vehicular access to Beaufort Road has been constructed in accordance with the approved plans.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

10. Boundary treatments shall be retained and replaced in accordance with details contained on drawing 015. If existing boundary treatments cannot be

retained and repaired, details of new boundary treatments must first be submitted to the Local Planning Authority for approval. All boundary treatments are to be retained or replaced at their existing height. Brickwork to match existing shall be utilised in any replacement boundary wall. All boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

11. The first floor windows in the east and west side elevations of the development and the first floor front facing window in the western dwelling serving a dressing room hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring properties by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

12. Prior to the commencement of development the developer must either submit evidence to the LPA that the building was built post 2000 or provide an intrusive pre-demolition and refurbishment asbestos survey in accordance with HSG264 supported by an appropriate mitigation scheme to control risks to future occupiers. The scheme must be written by a suitably qualified person and must be approved prior to commencement of the development. The scheme as submitted shall demonstrably identify potential sources of asbestos contamination and detail removal or mitigation appropriate for the proposed end use. Detailed working methods are not required but the scheme of mitigation shall be independently verified to the satisfaction of the LPA prior to occupation.

REASON: To ensure that a satisfactory strategy is put in place for addressing contaminated land before development commences and to make the land suitable for the development without resulting in risk to construction workers, future users of the land, occupiers of nearby land and the environment with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the NPPF.

13. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify.

The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

14. Prior to the commencement of development and in follow-up to the environmental desktop study, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

15. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed in line with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

- 16a Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning

Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

- 16b. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should be in accordance with CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

17. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

18. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

19. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A B and C of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, and Ho16

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;

- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
6. The permission hereby granted shall not be construed as authority to carry out works on the highway or any works that may affect a drainage channel/culvert or watercourse. The applicant is advised that a permit and potentially a Section 278 Agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge or any other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see: <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>.
7. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
8. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture / equipment.

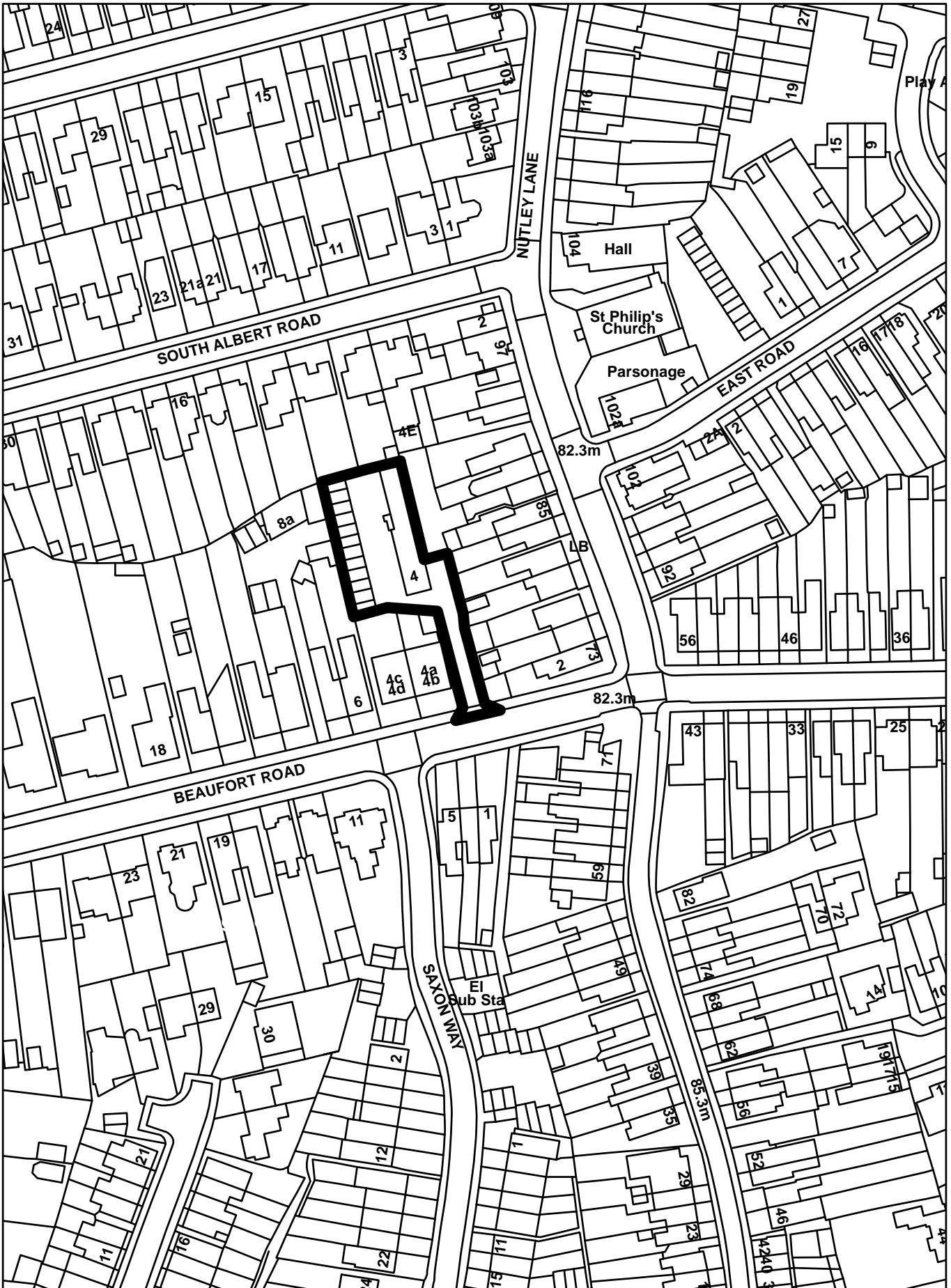
REASON FOR PERMISSION

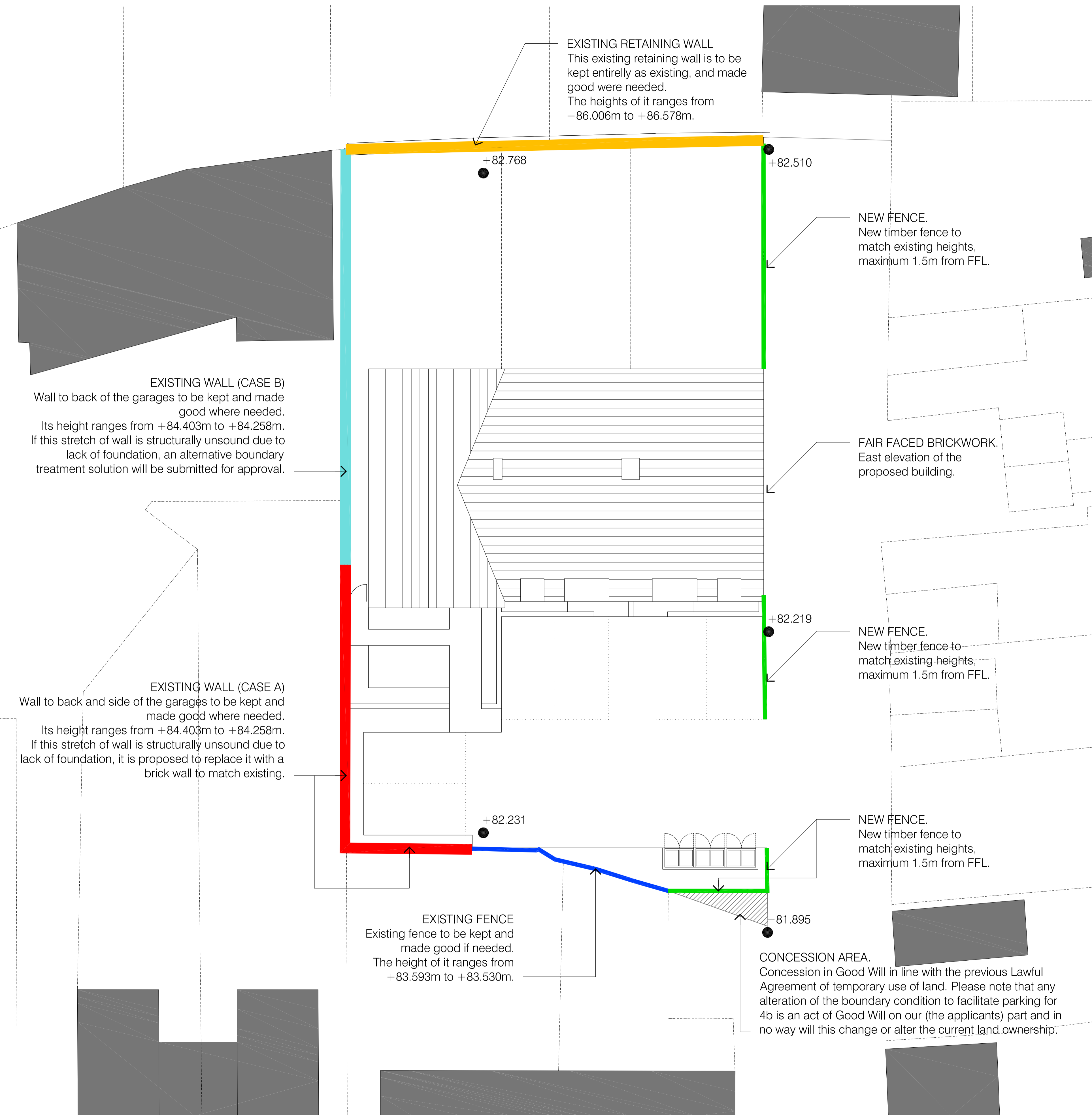
The development hereby permitted has been assessed against development plan policies CS1, CS4, CS10, CS11, CS13, CS14, CS15, CS17 and Pc4, Ho9, Ho13, Ho16, EM1A, Mo5 and Mo7 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/01752/F - 4 Beaufort Road, Reigate

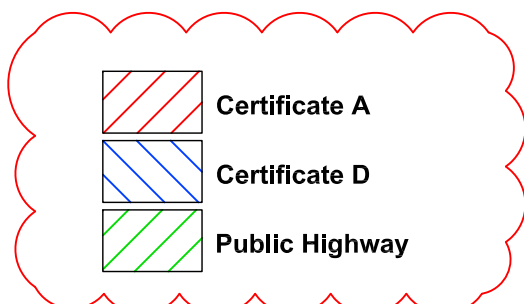
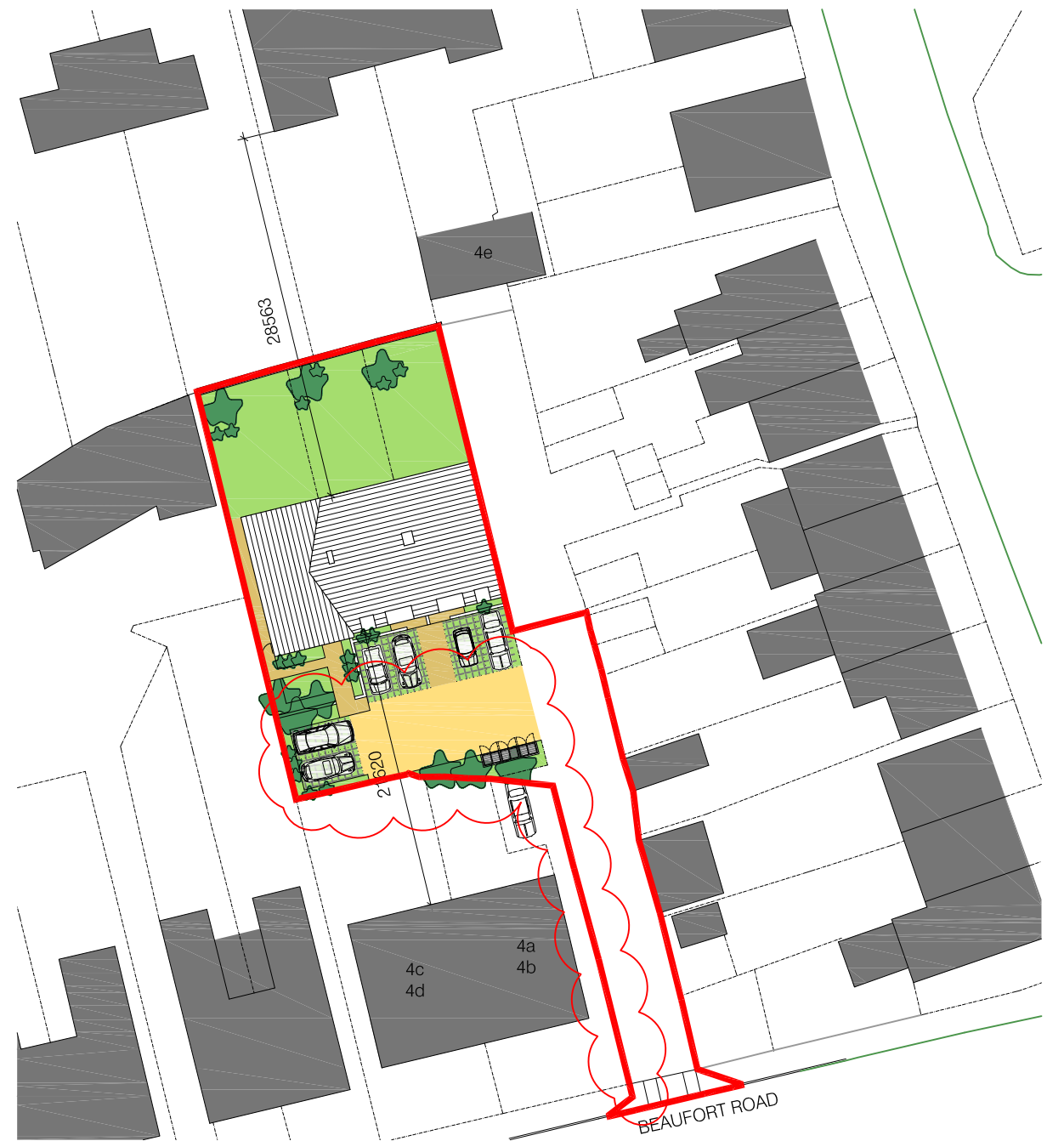




Overall Proposed Site Area

- Existing Retaining Wall.
- Existing Wall, case A.
- Existing Wall, case B.
- Existing Fence.
- New Fence.

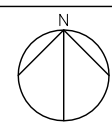
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A. EXISTING BLOCK PLAN

B. PROPOSED BLOCK PLAN

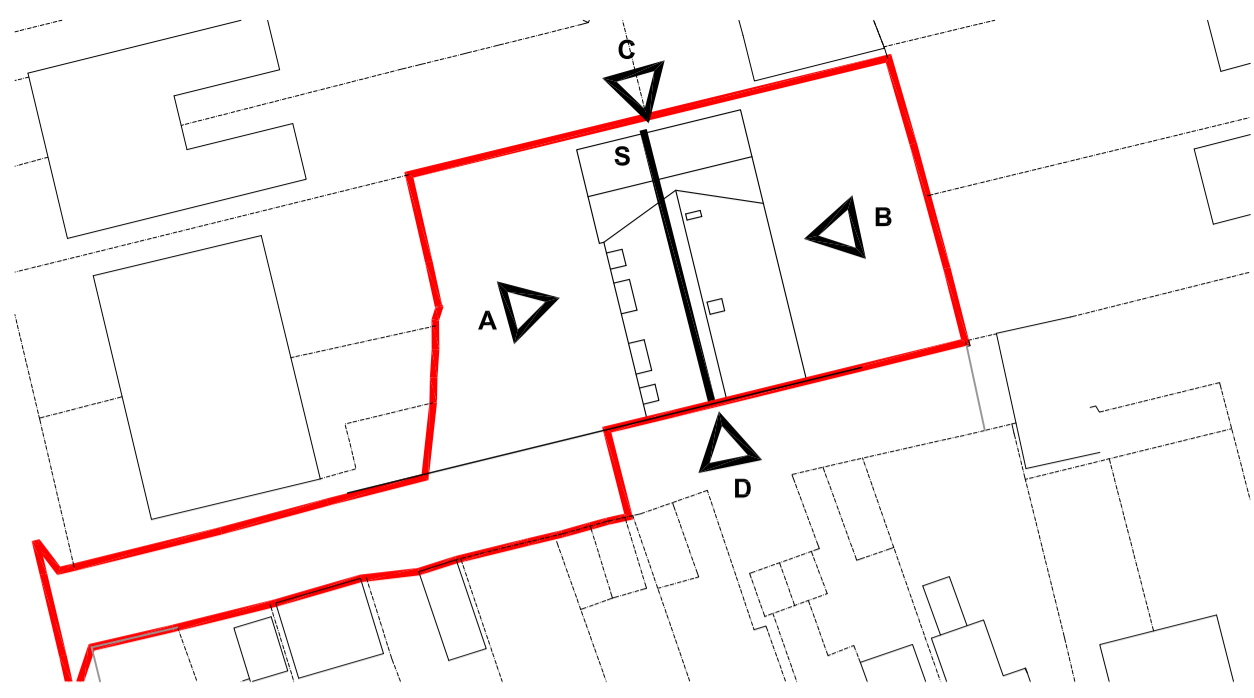
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|---|--|--|---------------------|--------------|-----------------|---------------------------|---|---------------|---|
| Project: 4 Beaufort Road, Reigate RH2 9DJ | | Title: EXISTING AND PROPOSED BLOCK PLANS | | | | Issue: Date: Description: | | Drawn: Notes: | |
| Client: Stephen & Terry Liddle | | Job No.: DA171121 | Drawing No.: 002 | Issue.: C | Scale: 1:500 | Original size: A3 | - 16-07-18 Planning Issue | OA | All dimensions are in millimetres unless stated otherwise. Contractor to check all dimensions prior to fabrication or construction on site. |
| | | | | | | | A 08-08-18 Planning Issue (not construction) | OA | |
| | | | | | | | B 20-08-18 Existing roof plan updated | OA | |
| | | | | | | | C 22-10-18 Land Ownership added / Landscape updated | OA | |



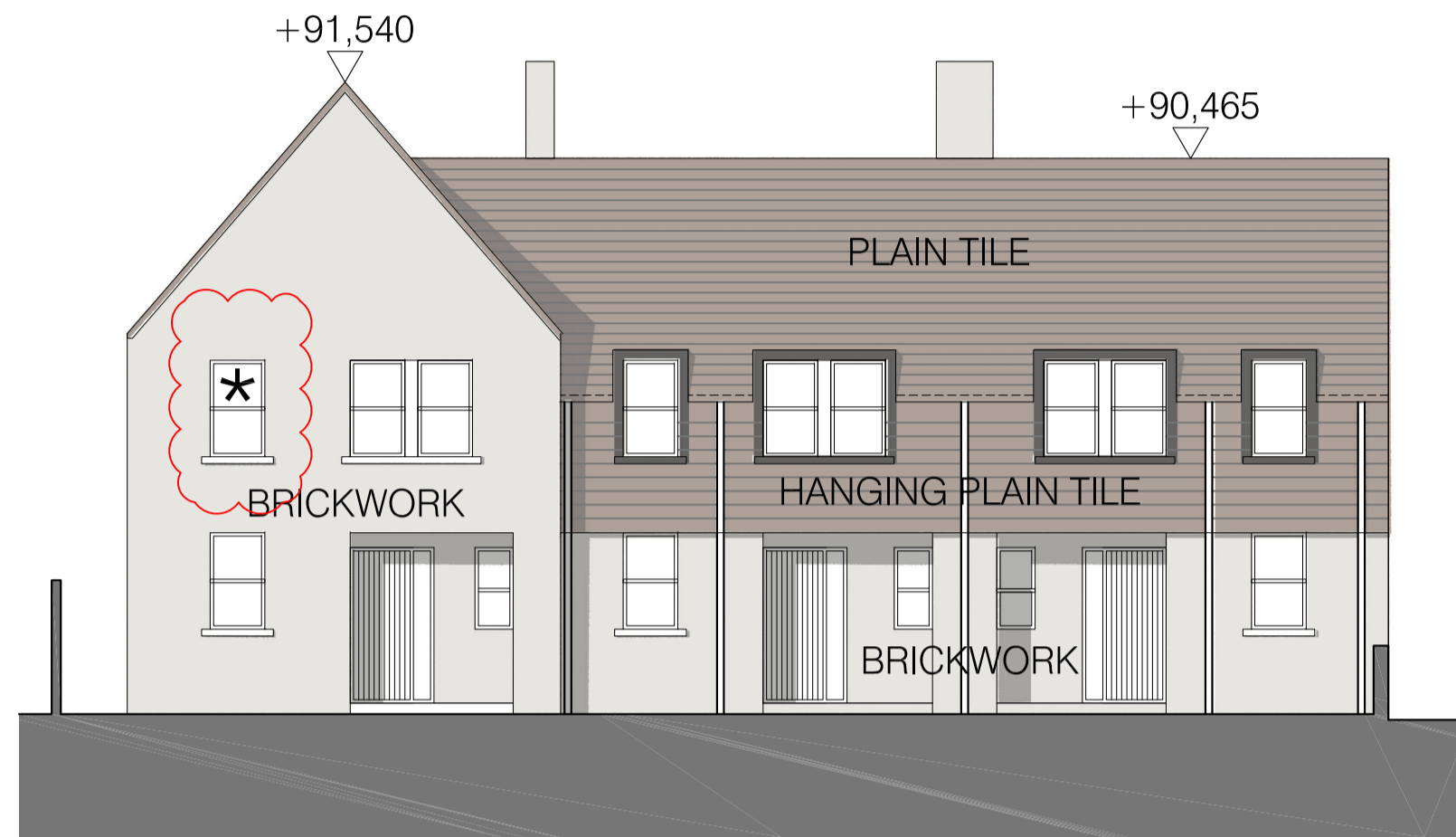
Daines Alonso Architects
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 m: 079 660 44462

DA
 ARCHITECTS

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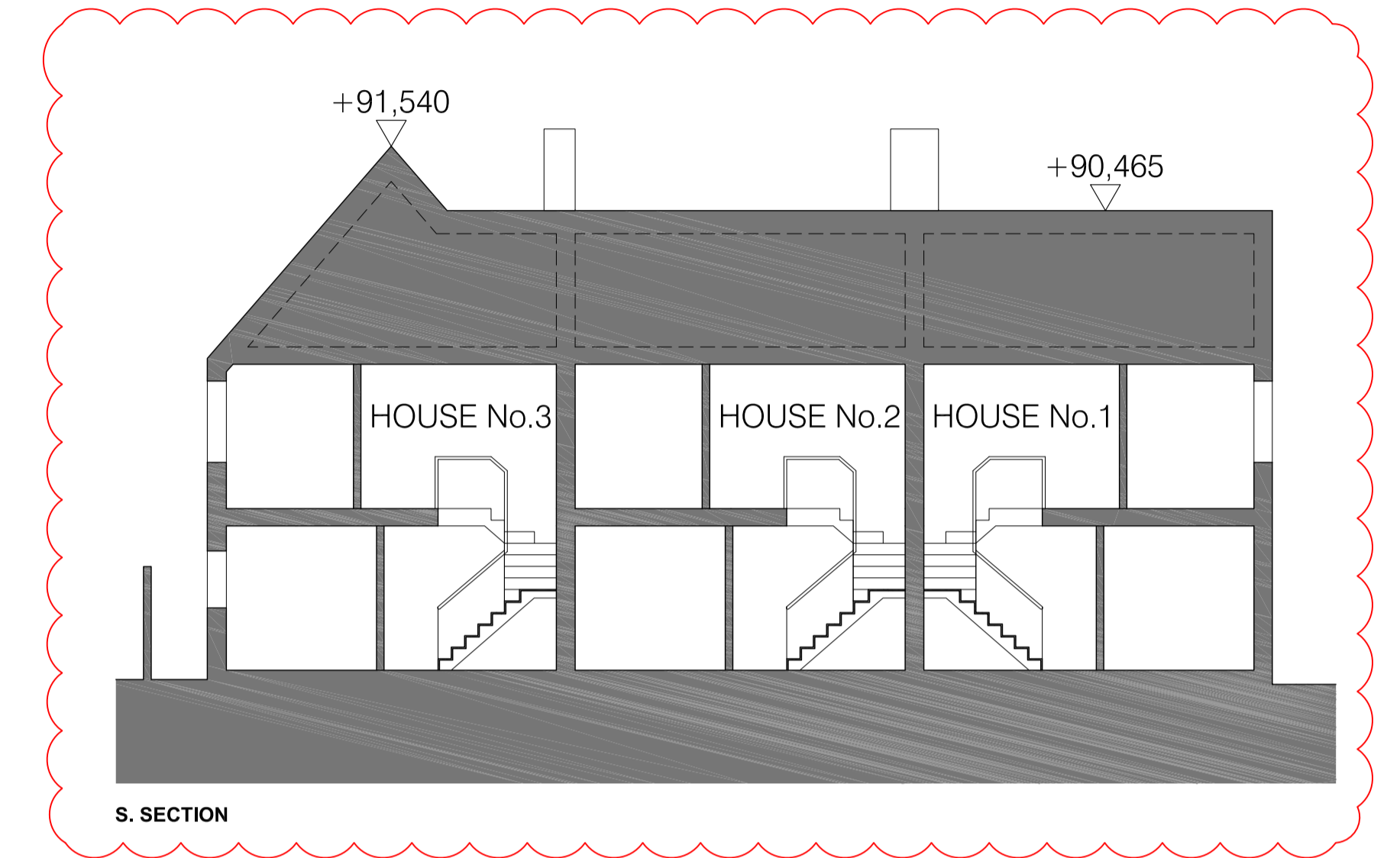
* Obscured glass; only the top light is openable.



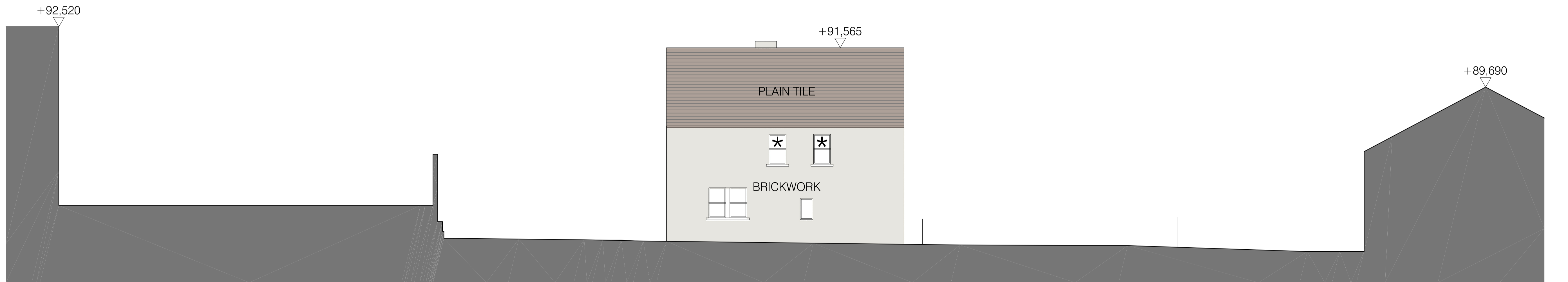
A. FRONT ELEVATION (SOUTH)



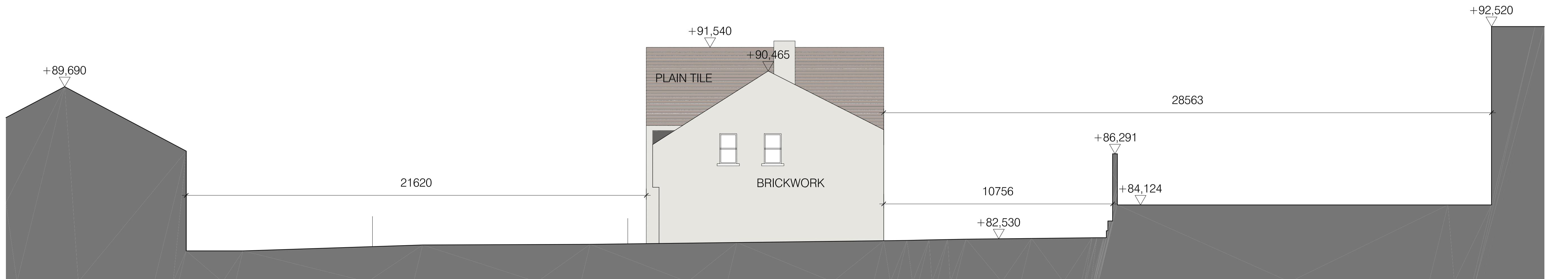
B. GARDEN ELEVATION (NORTH)



S. SECTION



C - SIDE ELEVATION (WEST)



D - SIDE ELEVATION (EAST)

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